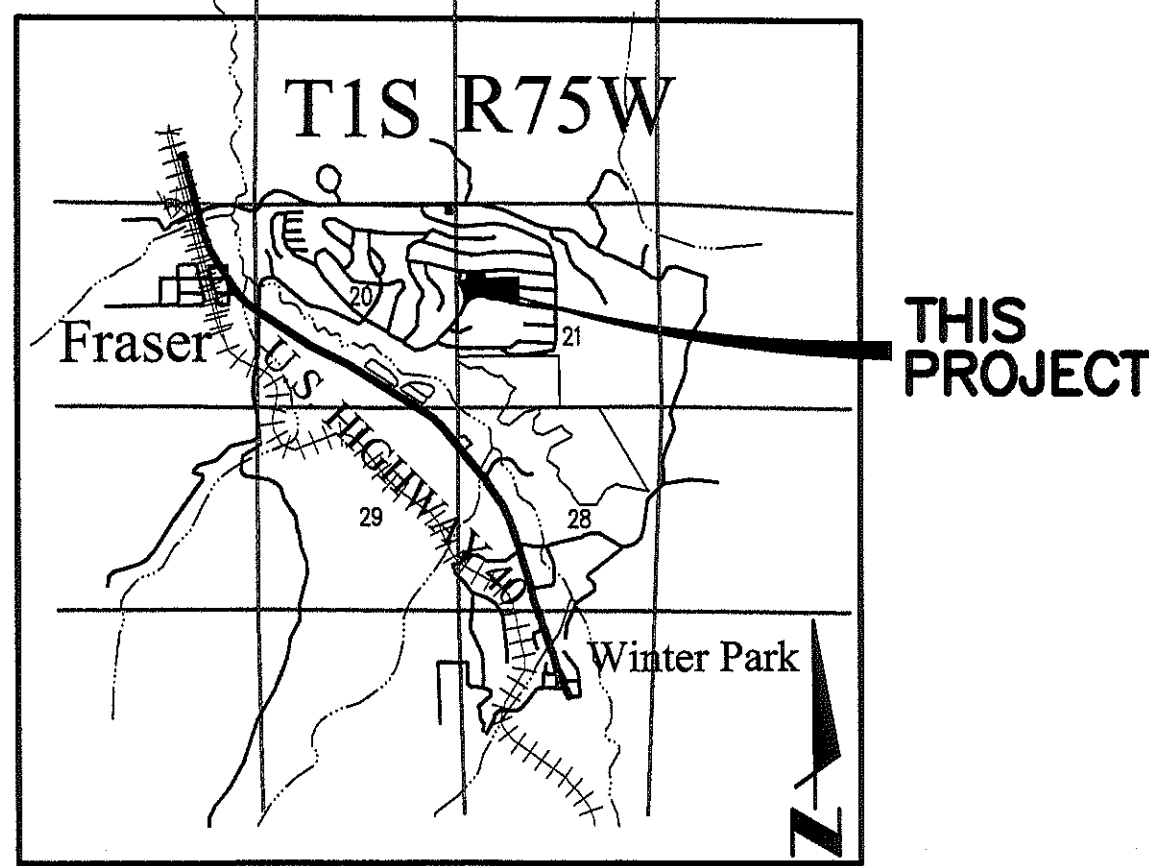


FINAL CONSTRUCTION PLANS
FOR
THE RIDGE at WINTER PARK CONDOMINIUM

PART OF
NW 1/4, SECTION 21, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH P.M.
GRAND COUNTY, COLORADO



LOCATION MAP

A PORTION OF THE NORTHWEST 1/4 OF
SECTION 21, T1S, R75W, OF THE 6TH P.M.;
GRAND COUNTY, COLORADO

CONTACT LIST

DEVELOPER

SILVERLEAF RESORTS, INC.
1221 RIVERBEND DRIVE, SUITE #120
DALLAS, TX 75247

CONTACT: MIKE BROWN
PHONE: 214-951-0962

CIVIL ENGINEER

CASCADE ENGINEERING AND DRAINAGE
P.O. BOX 1406
FRASER, CO 80442

CONTACT: ROSS LAMBERSON, P.E.
PHONE: 970-726-4105

SURVEYOR

ROCKY MOUNTAIN SURVEYS, INC.
BOX 552
WINTER PARK, CO 80482

CONTACT: PHILIP NAILL
PHONE: 970-726-7166

GEOTECHNICAL ENGINEER

KUMAR & ASSOCIATES, INC.
2390 SOUTH UPAN STREET
DENVER, CO 80223

CONTACT: JOSH PARKER
PHONE: 303-742-9700

TRAFFIC ENGINEER

SHORT ELLIOTT HENDRICKSON
1375 WALNUT STREET, SUITE 211
BOULDER, CO 80302

CONTACT: WILL JOHNSON, P.E.
PHONE: 303-442-3130

WETLANDS CONSULTANT

ECOLOGICAL REDOURCES CONSULTANTS, INC.
5672 JUHLIS DRIVE
BOULDER, CO 80301

CONTACT: DAVE BLAUCH
PHONE: 720-564-0788

FOREST MANAGEMENT CONSULTANT

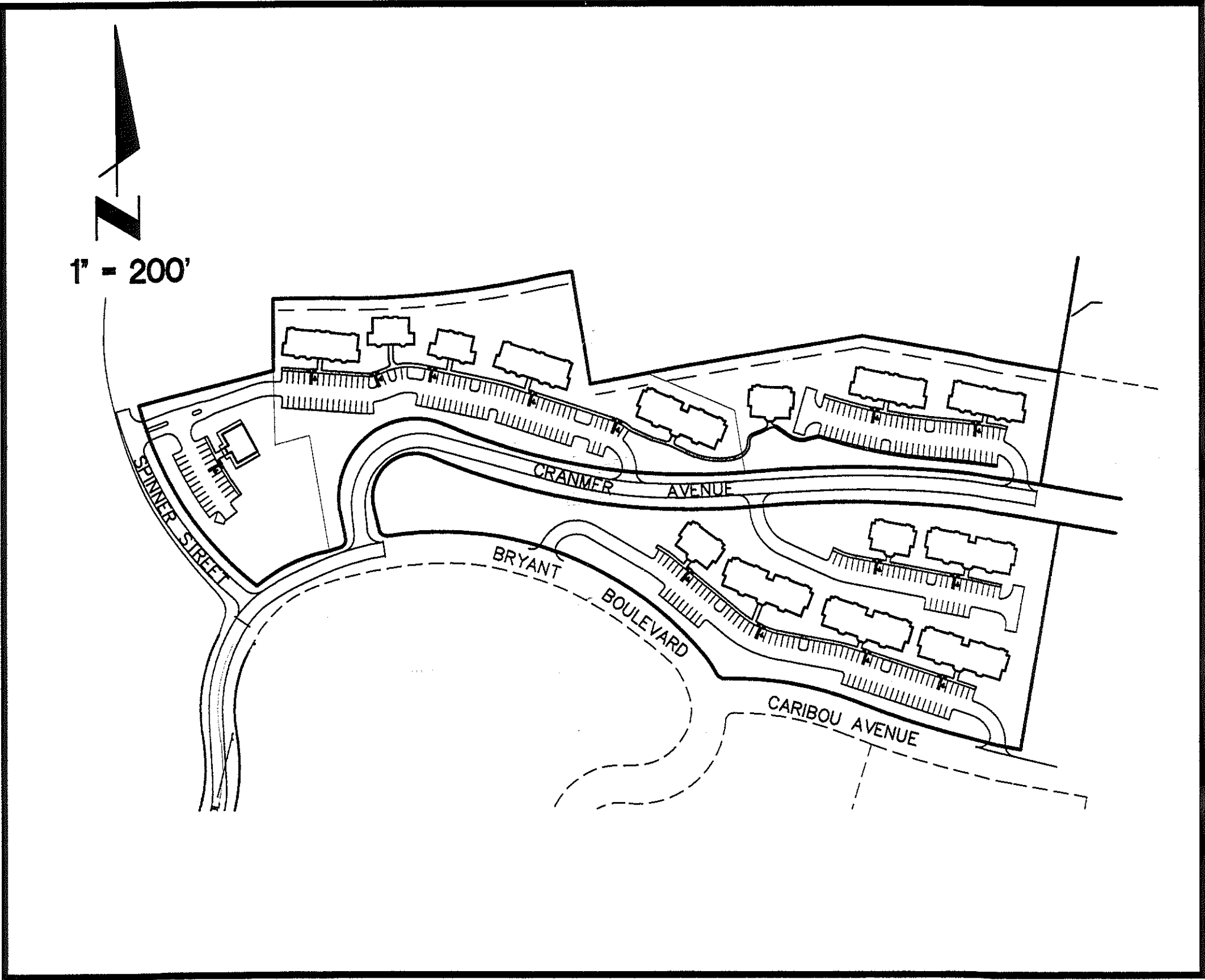
LAND MANAGEMENT ASSISTANCE, LLC
P.O. BOX 1926
GRANBY, CO 80446

CONTACT: GEORGE EDWARDS
PHONE: 970-887-2238

LANDSCAPE ARCHITECT

P.O. BOX 1681
GRAND LAKE, CO 80447

CONTACT: GARY ROESSLER
PHONE: 970-627-9423



SITE PLAN

GRAND COUNTY PLANNING & ZONING DEPT.:

GRAND COUNTY ENGINEER

DATE

DEVELOPER

SILVERLEAF RESORTS, INC.
1221 RIVERBEND DRIVE, SUITE #120
DALLAS, TX 75247
CONTACT: MIKE BROWN
PHONE: 214-951-0962

LEGAL DESCRIPTION

TRACTS D, E, F, AND G OF THE
SUMMIT AT WINTER PARK RANCH,
GRAND COUNTY, COLORADO.
RECEPTION NO. 197823

BASIS OF BEARING

NORTH 09 DEGREES 44 MINUTES 17 SECONDS EAST
BETWEEN THE SOUTHEAST CORNER AND THE EAST
ANGLE POINT OF TRACT G PER ALTA/ACSM LAND
TITLE SURVEY DATED 06-11-06, WARREN WARD
COLORADO P.L.S 25971 JOB No. A2803.

BENCHMARK

BASIS OF ELEVATION IS 8947.17' AT SOUTHEAST
CORNER TRACT G.

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SHEET 9.....	DRIVEWAY B AND C PLAN AND PROFILE
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SHEET 22.....	PHASE PLAN

* INCLUDES WATER AND SANITARY SEWER PROFILES

WINTER PARK WEST WATER & SANITATION DISTRICT

THESE DESIGNS, PLANS AND CONTRACT DOCUMENTS ARE REVIEWED FOR CONCEPT AND GENERAL CONFORMANCE TO THE DISTRICT'S MINIMUM STANDARDS ONLY, AND THE PRIMARY RESPONSIBILITY FOR DESIGN ADEQUACY IS TO REMAIN WITH THE ENGINEER OF RECORD. THIS REVIEW DOES NOT IMPLY RESPONSIBILITY BY EITHER THE WINTER PARK WEST WATER AND SANITATION DISTRICT OR THE DISTRICT'S WATER SYSTEM ENGINEER FOR COMPLETENESS, ACCURACY OR CORRECTNESS OF CALCULATIONS. THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS INDICATED ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE DISTRICT FOR ADDITIONAL ITEMS AND ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

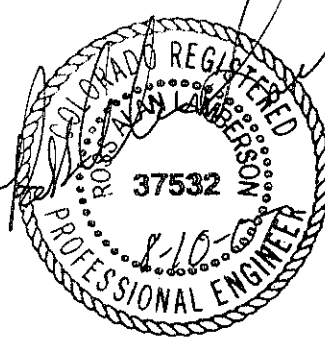
APPROVED FOR CONSTRUCTION WITHIN ONE YEAR OF THE EARLIEST OF THESE DATES:

BY _____ DATE _____
DISTRICT WATER SYSTEM ENGINEER
BY _____ DATE _____
WINTER PARK WEST W. & S. D.

CERTIFICATION:

"THESE CONSTRUCTION PLANS FOR THE PINNACLE AT WINTER PARK WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRAND COUNTY ROAD AND BRIDGE STANDARDS AND THE STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA."

ROSS A. LAMBERSON
CASCADE ENGINEERING AND DRAINAGE, INC.



CASCADE ENGINEERING
& DRAINAGE, INC.

at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

				DESIGN BY: RAL
				DRAWN BY: DSS/ETP/RAL
				CHECK'D BY (Design): RAL
				DATE: 8/9/2007
				SCALE: HORIZONTAL: 1"=200' VERTICAL: N.A.
NO.	DATE			APPR.

COVER SHEET
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
1 of 22



IF YOU DIG COLORADO -- CALL US FIRST!
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1-800-922-1987
CALL 2 BUSINESS DAYS PRIOR TO
EXCAVATION FOR UTILITY LOCATIONS

GRAND COUNTY GENERAL NOTES

1. THE COUNTY SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE COUNTY HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE GRAND COUNTY ROAD AND DRAINAGE STANDARDS OR APPROVED VARIANCES TO THOSE REGULATIONS. THE COUNTY, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMNET LIES SOLELY WITH THE LICENSED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
2. ALL ROADWAY CONSTRUCTION SHALL CONFORM TO GRAND COUNTY ROAD AND BRIDGE STANDARDS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE COUNTY. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS. THIS MAY RESULT IN A "STOP WORK ORDER" THAT WILL REMAIN IN EFFECT UNTIL APPROPRIATE CORRECTIONS ARE MADE TO THE SATISFACTION OF GRAND COUNTY.
4. THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
5. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR THE SAFETY IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
6. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
7. THE DUTY OF THE COUNTY TO CONDUCT CONSTRUCTION INSPECTIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/APPLICANT OF ANY PROBLEM IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
9. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR TWO (2) YEARS FROM THE DATE OF GRAND COUNTY BOARD OF COUNTY COMMISSIONERS APPROVAL, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND SHALL BE SUBJECT TO RE-REVIEW AND RE-APPROVAL BY GRAND COUNTY.
10. PAVING SHALL NOT START UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE GEOTECHNICAL ENGINEER AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY THE ENGINEER.
11. IF DEWATERING IS USED TO INSTALL UTILITIES, CULVERTS, ETC., THEN A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED FOR DISCHARGE INTO A STORM SEWER, CHANNEL IRRIGATION DITCH, OR ANY WATER OF THE UNITED STATES. A COPY OF THE PERMIT SHALL BE KEPT ON SITE.

LANDSCAPE NOTES

ALL VEGETATION AT INTERSECTIONS SHALL BE MAINTAINED TO ALLOW ADEQUATE VISIBILITY FOR VEHICLES AND PEDESTRIANS. ALL VEGETATION WITHIN 30' FROM PROPERTY CORNERS AND ITS RESULTING CONNECTING DIAGONAL SHALL BE MAINTAINED AS FOLLOWS:

1. EXISTING AND PROPOSED GROUND COVER AND SHRUBS SHALL NOT EXCEED 30' IN HEIGHT.
2. EXISTING AND PROPOSED TREES SHALL HAVE LOWER BRANCHES REMOVED TO HEIGHT OF 10' OR AS REQUIRED TO PROVIDE ADEQUATE SITE DISTANCES. IN SOME OVERGROWN TREE STANDS REMOVAL OF EXISTING TREES MAY BE BE REQUIRED, ON A CASE BY CASE BASIS.
3. ALL REMOVAL OF VEGETATION WITH IN THE PUBLIC RIGHT OF WAY SHALL BE COORDINATED WITH THE GRAND COUNTY ROAD AND BRIDGE DEPARTMENT.

GENERAL GRADING NOTES

1. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY VARIOUS GOVERNMENTAL AGENCIES.
3. ALL GRADING AND EARTHWORK SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THIS PROJECT.
4. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTH--WORK OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, TOGETHER WITH PLACEMENT OF FILL.
5. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND REQUESTS BY THE STATE OF COLORADO REGARDING DUST POLLUTION.
6. ALL GRADES SHOWN ARE FINISH GRADES.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID BASED THEREON.
8. LOCATIONS OF UNDERGROUND FACILITIES WERE TAKEN FROM EXISTING MAPS AND SURVEY INFORMATION AND MAY NOT BE ACCURATE.
9. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
10. A WATER TRUCK WILL BE KEPT ON SITE DURING EARTHWORK OPERATIONS OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
11. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH GRAND COUNTY STANDARDS AND SPECIFICATIONS, LATEST REVISION THEREOF.
12. THE PAVING CONTRACTOR SHALL ADJUST ALL MANHOLES AND VALVE BOXES TO FINAL GRADE.
13. SHOULDERS ADJACENT TO PAVEMENT SHALL CONTINUE AROUND INTERSECTION RETURNS UNLESS OTHERWISE NOTED.
14. LIFT IN FILL AREAS SHALL NOT EXCEED 8 INCHES IN COMPACTED DEPTH. MAXIMUM SLOPES OF ALL CUTS AND FILLS SHALL BE 2:1 UNLESS OTHERWISE NOTED.
15. PAVING SHALL NOT START UNTIL SUBGRADE COMPACTION TESTS ARE TAKEN AND A FINAL PAVEMENT DESIGN IS APPROVED.
16. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING PAVEMENT WHERE MATCH LINES WITH EXISTING EDGE OF PAVEMENT OCCUR.
17. SLOPES GREATER THAN 3:1 SHALL BE SEEDED AND MULCHED WITH A TACTIFIER IMMEDIATLY AFTER FINAL GRADING IS COMPLETE.

GENERAL NOTES

1. CASCADE ENGINEERING AND DRAINAGE, INC. ASSUMES THE SAID BOUNDARY, TOPO AND OTHER INFORMATION SHOWN ON THIS PLAN TO BE CORRECT AND ACCURATE AS PROVIDED FOR DESIGN, DEVELOPMENT AND ALL OTHER PURPOSES, AND HAS RELIED THEREON AND ACCEPTS NO RESPONSIBILITY FOR ANY DISCREPANCIES BETWEEN INFORMATION PROVIDED ON THE PLANS AND ACTUAL FIELD CONDITIONS AND ANY ISSUES THAT MAY ARISE.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE SURVEYOR PROVIDING CONSTRUCTION LAYOUT TO COMPARE THE SITE CONDITIONS WITH THE PLANS AND TO NOTIFY THE ENGINEER OR DESIGNATED CONSTRUCTION MANAGER OF ANY DISCREPANCIES OBSERVED. SHOULD ANY GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT, NOTIFICATION SHALL OCCUR AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS TO BEGIN IN THE AFFECTED AREA. IF THE ENGINEER OR CONSTRUCTION MANAGER IS NOT NOTIFIED PRIOR TO THE START OF CONSTRUCTION IN THE AFFECTED AREA, ANY DESCREPANCIES SHALL BE DEEMED THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SURVEYOR.

GARBAGE COLLECTION NOTES

1. INDIVIDUAL GARBAGE COLLECTION AREAS CONSISTING OF A 3' BY 8' CONCRETE PAD ARE SHOWN IN FRONT OF EACH BUILDING. THE OWNER WILL PROVIDE DAILY COLLECTION OF GARBAGE.
2. DAILY COLLECTED GARBAGE WILL BE DELIVERED TO THE PROPOSED GARBAGE DUMPSTERS JUST WEST OF THE CLUB HOUSE.
3. BEAR PROOFING WILL BE REQUIRED FOR ALL GARBAGE RECEPTACLES.

EROSION CONTROL NOTES

1. CONSTRUCTION LIMIT EROSION CONTROL (SILT FENCING, EROSION CONTROL LOGS, STRAW WADDLES OR OTHER MEANS) SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED TWENTY-FOUR HOURS PRIOR TO THE START OF GRADING. INLET PROTECTION SHALL BE APPLIED TO ALL EXISTING INLETS PRIOR TO GRADING START UP.
2. AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, EROSION CONTROL AND SEDIMENTATION CONTROL SHALL BE MAINTAINED TO PREVENT ERODED SOIL FROM LEAVING THE PROPERTY AND/OR DISTURBING WETLANDS.
3. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE PROPERTY LIMITS DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
4. ALL EXPOSED SOILS SHALL BE RESEEDD AND MULCHED OR OTHERWISE STABILIZED WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING. SAID MULCH SHALL BE APPLIED AT A RATE OF TWO TONS PER ACRE AND SHALL BE TACKED OR FASTENED BY AN APPROVED METHOD SUITABLE FOR THE TYPE OF MULCH USED.
5. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY DAYS SHALL BE MULCHED AND SEEDED WITH A TEMPORARY OR PERMANENT GRASS COVER WITHIN FOURTEEN DAYS OR STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGE WAY, ADDITIONAL SEDIMENT CONTROLS SICJ AS TEMPORARY DIKES OR SILT FENCES SHALL BE REQUIRED.
6. ALL INLETS WILL HAVE GRAVEL FILTERS INSTALLED PRIOR TO GRADING START--UP TO REDUCE SEDIMENT INTO THE STORM SEWER CROSSINGS. INLET PROTECTION SHALL BE APPLIED IMMEDIATELY TO NEWLY INSTALLED FLARED--END SECTIONS.
7. APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT.

AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER.

ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN WHEN THE SEDIMENT LEVEL REACHES ONE--HALF THE HEIGHT OF THE BMP OR AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
8. THE CONTRACTOR SHALL KEEP ALL POLLUTANTS, INCLUDING TRENCH BACKFILL MATERIALS, OIL, GREASE, ETC., FROM WASHING INTO ADJACENT WATERWAYS.
9. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AGENTS SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE DRAINAGE WAYS AND PUBLIC RIGHTS--OF--WAY AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
10. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
11. THE GENERAL CONTRACTOR, GRADING CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS--OF--WAY. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
12. TOPSOILS SHALL BE REMOVED AND STORED ON SITE IN ACCORDANCE WITH NOTE 5. ABOVE. CONTRACTOR SHALL WORK WITH THE OWNER TO DETERMINE THE BEST LOCATION. EXCESS TOPSOIL SHALL BE HAULED OFF SITE.

GEOTECHNICAL NOTE

ALL GEOTECHNICAL, SUBSURFACE, GROUND WATER, AND PAVEMENT DESIGN ISSUES ARE TO FOLLOW THE DESIGN RECOMMENDATIONS SET FORTH IN THE APPROVED GEOTECHNICAL REPORT FOR THIS PROJECT, DATED 10/23/06, REVISED 1/18/07.

WATER AND SEWER NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH WINTER PARK RANCH WATER & SANITATION DISTRICT CONSTRUCTION STANDARDS AND GRAND COUNTY STANDARDS.
2. CONTRACTOR SHALL ACQUIRE AND MAINTAIN ON JOB SITE AT ALL TIMES A COPY OF "WATER UTILITY, CONSTRUCTION STANDARDS AND MINIMUM DESIGN CRITERIA FOR WINTER PARK RANCH WATER & SANITATION DISTRICT."
3. CONTRACTOR SHALL ACQUIRE AND MAINTAIN ON JOB SITE AT ALL TIMES A COPY OF "SANITARY SEWER SYSTEM, CONSTRUCTION STANDARDS AND MINIMUM DESIGN CRITERIA FOR WINTER PARK RANCH WATER & SANITATION DISTRICT."
4. PERMANENT IRRIGATION WILL NOT BE UTILIZED ON THIS PROJECT.
5. MINIMUM OUTSIDE OF PIPE TO OUTSIDE OF PIPE DISTANCE BETWEEN WATER AND SEWER LINES SHALL BE TEN FEET AT ALL LOCATIONS.

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	ADJACENT PROPERTY LINE	
	EDGE OF ASPHALT	
	EDGE OF GRAVEL	
	EDGE OF SHOULDER	
	CONTOUR	
	STORM DRAIN	
	SANITARY	
	SANITARY SERVICE	
	WATER	
	FIRE HYDRANT	
	ROCK RETAINING WALL	
	REDI--ROCK RETAINING WALL	
	PARKING STRIPE	
	EROSION CONTROL LOG	
	CENTERLINE OF RODWAY	
	FLOW ARROW	

CONSTRUCTION NOTES & LEGEND
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
2 OF 22

CASCADE ENGINEERING
& DRAINAGE, INC.

at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726--4105 office (970) 726--4743 fax

				DESIGN BY: RAL
				DRAWN BY: DSS/ETF/RAL
				CHK'D BY (Design): RAL
				DATE: 8/9/2007
				SCALE: HORIZONTAL: N.A. VERTICAL: N.A.
NO.	DATE		APPR.	

DRIVEWAY A TO
BE CONSTRUCTED
WITH PHASE I

1" = 30'

PHASE I

DETENTION BASIN A
VOLUME= 9470 CF
Q100 IN= 13.3 CFS
Q100 OUT= 11.3 CFS

EROSION CONTROL
MATTING 110 L.F.

1
2
3
4
5

NOTE:
SEE DETAIL SHEETS 18 AND 19 FOR CROSS SECTIONS
AND GRADING DETAILS.

SEE SHEETS 12 AND 13 FOR SPINNER ST. AND
CRAMNER AVE. PLAN AND PROFILE

**CASCADE ENGINEERING
& DRAINAGE, INC.**

at WINTER PARK STATION
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P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

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NO.	DATE				APPR.

GRADING & EROSION CONTROL PLAN FOR THE RIDGE at WINTER PARK CONDOMINIUM

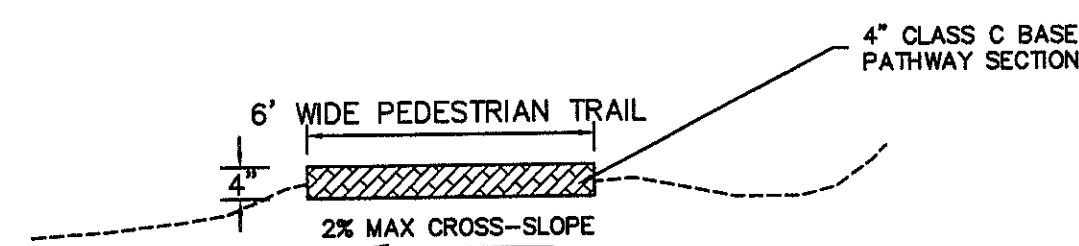
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO. 4 OF 2

SHEET NO.
4 OF 22

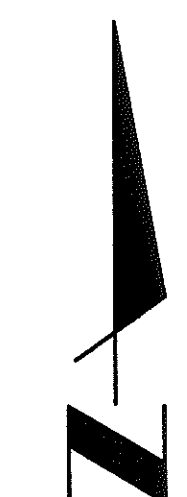


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CALL 2 BUSINESS DAYS PRIOR TO
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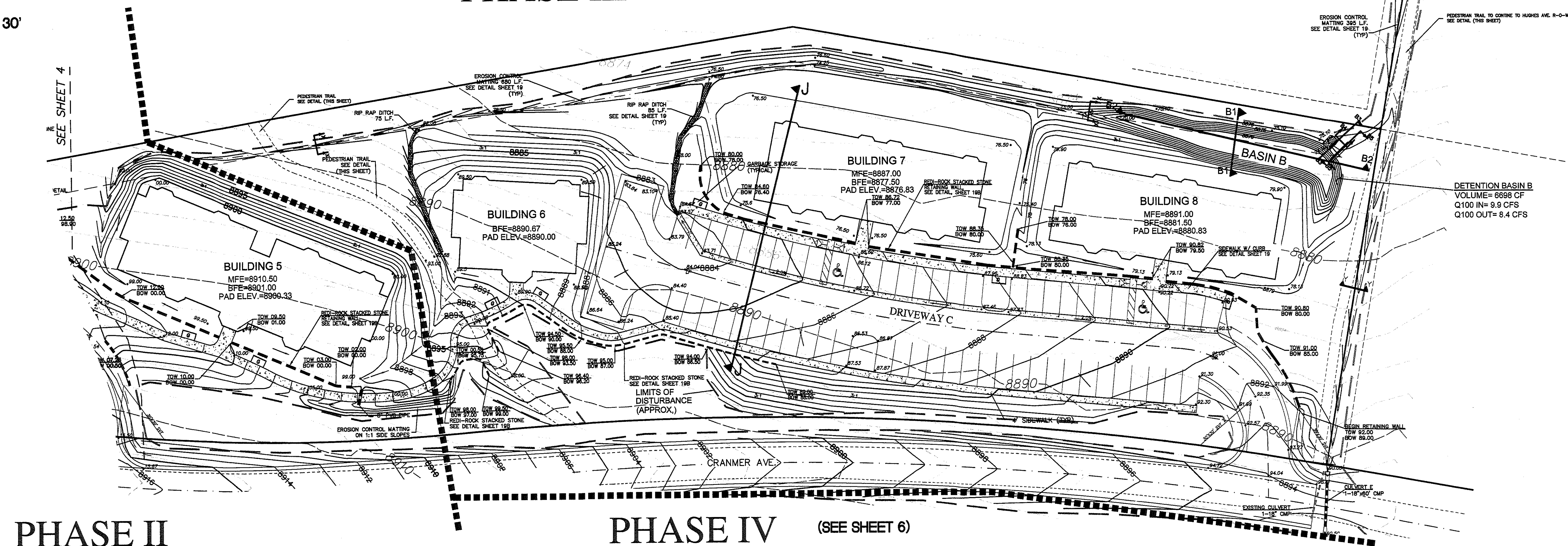
PT 5 PEDESTRIAN TRAIL DETAIL NTS

NOTE: CUT CLASS C PATHWAY APPROXIMATELY 1" TO 1-1/2" INTO EXISTING GROUND.



1" = 30'

PHASE III



NOTE:
SEE DETAIL SHEETS 18 AND 19 FOR CROSS SECTIONS
AND GRADING DETAILS.

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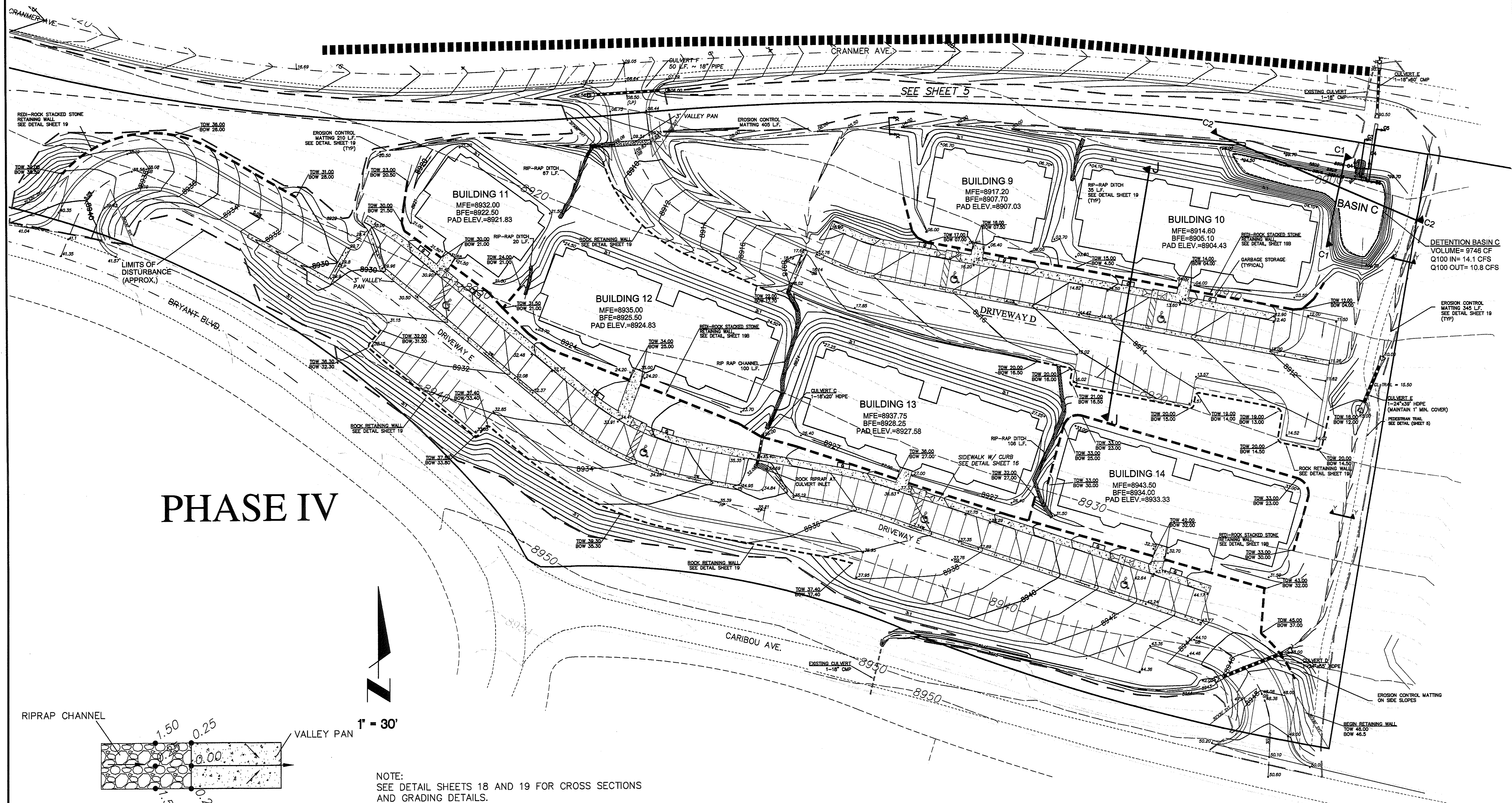
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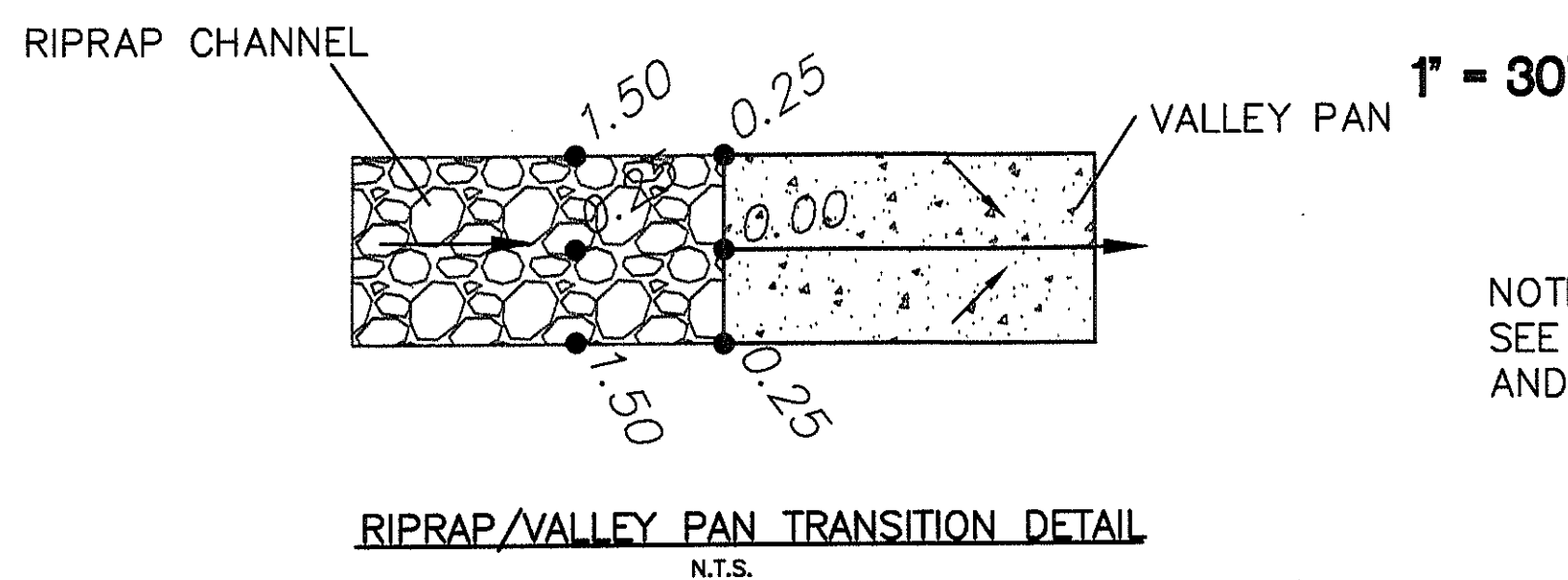
GRADING & EROSION CONTROL PLAN
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
5 of 22

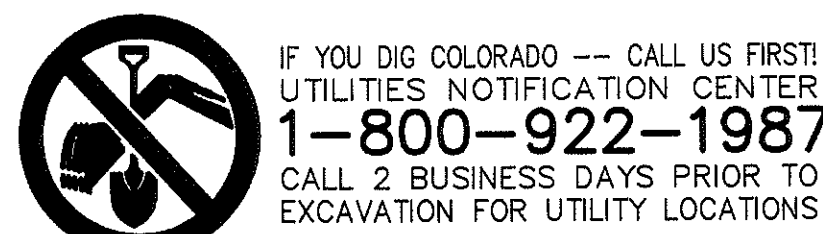
PHASE III



PHASE IV



NOTE:
SEE DETAIL SHEETS 18 AND 19 FOR CROSS SECTIONS
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NO.	DATE				APPR.	

**GRADING & EROSION CONTROL PLAN
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM**
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
6 OF 22



PHASE II

PHASE III

\PHASE I

PHASE IV

LEGEND

EXISTING

PROPOSED

PROPERTY LINE

- ADJACENT PROPERTY LINE

EDGE OF ASPHALT

EDGE OF GRAVEL

EDGE OF SHOULDER

CONTOUR

STORM DRAIN

RETAINING WALL

EROSION CONTROL LEGEND

EQUIPEMENT STAGING AREA

VEHICLE TRACKING CONTROL PAD
SEE DETAIL, SHEET 2

EROSION CONTROL LOG (ECL)

INLET PROTECTION

EROSION CONTROL LOG DETAIL

NTS



IF YOU DIG COLORADO -- CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL 2 BUSINESS DAYS PRIOR TO
EXCAVATION FOR UTILITY LOCATIONS

NOTE: SEE CONSTRUCTION PLANS
FOR ADDITIONAL DETAILS

PERMANENT SEED MIX				
LAND USE	% OF MIX	SPECIES	VARIETY	APPLICATION RATE (LBS/AC)
DRY LAND NON-IRRIGATED RECLAMATION	50%	SMOOTH BROOME	MONCHAR	16
	25%	SHEEP FESCUE	COVAR	8
	20%	PUBESCENT WHEATGRASS	LUNA	6.5
	5%	WILD FLOWER	BLUE FLAX	2

NOTE

- NOTES:
1. The applied seed shall not be covered by a soil thickness greater than 0.5" in depth.
 2. Seed shall take place within 14 days of achieving finish grade. Seeding must occur within 3 days of topsoil placement.
 3. To provide temporary erosion control prior to seed application, utilize surface roughening (on the contour or perpendicular to prevailing winds) and apply mulch.
 4. Seed shall be planted with drill seeding equipment, whenever possible.
 5. Areas that require broadcast seeding shall be mulched and tacked.
 6. Applied hydroically shall include tackifier in the mix, as specified by the manufacturer.

**CASCADE ENGINEERING
& DRAINAGE, INC.**

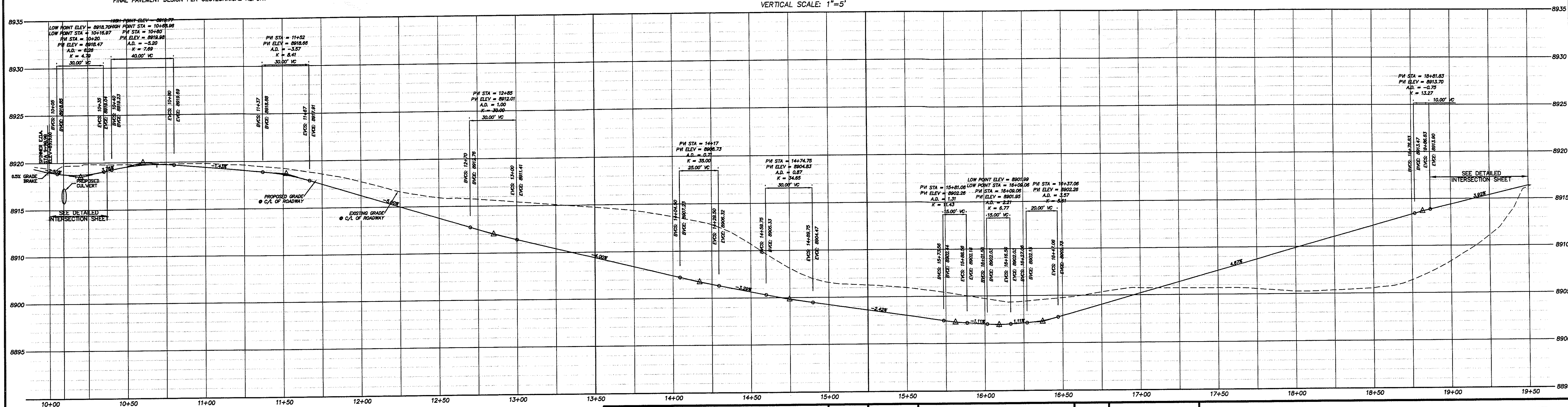
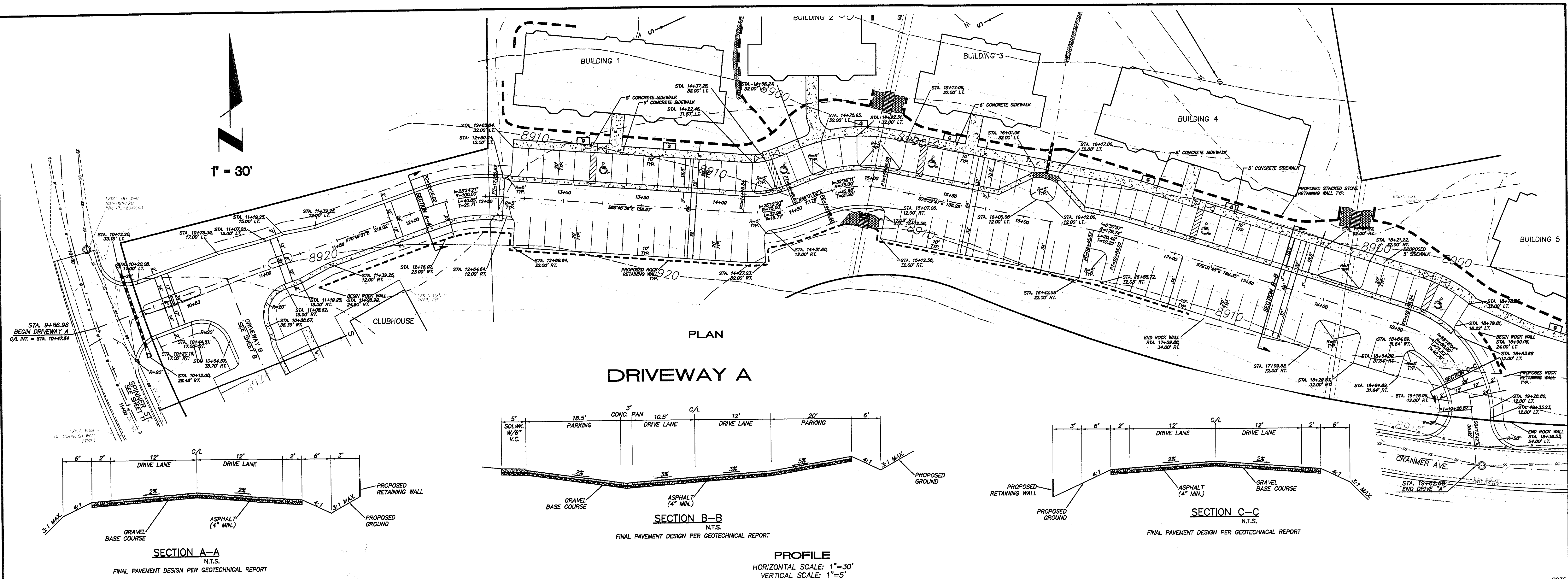
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

					DESIGN BY: RAL DRAWN BY: DSS/RAL CHECK'D BY (Designer): RAL DATE: 8/9/2007 SCALE: HORIZONTAL: 1"=60' VERTICAL: N/A
NO.	DATE				APPR.

EROSION CONTROL PLAN FOR THE RIDGE at WINTER PARK CONDOMINIUM

LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
7 OF 22



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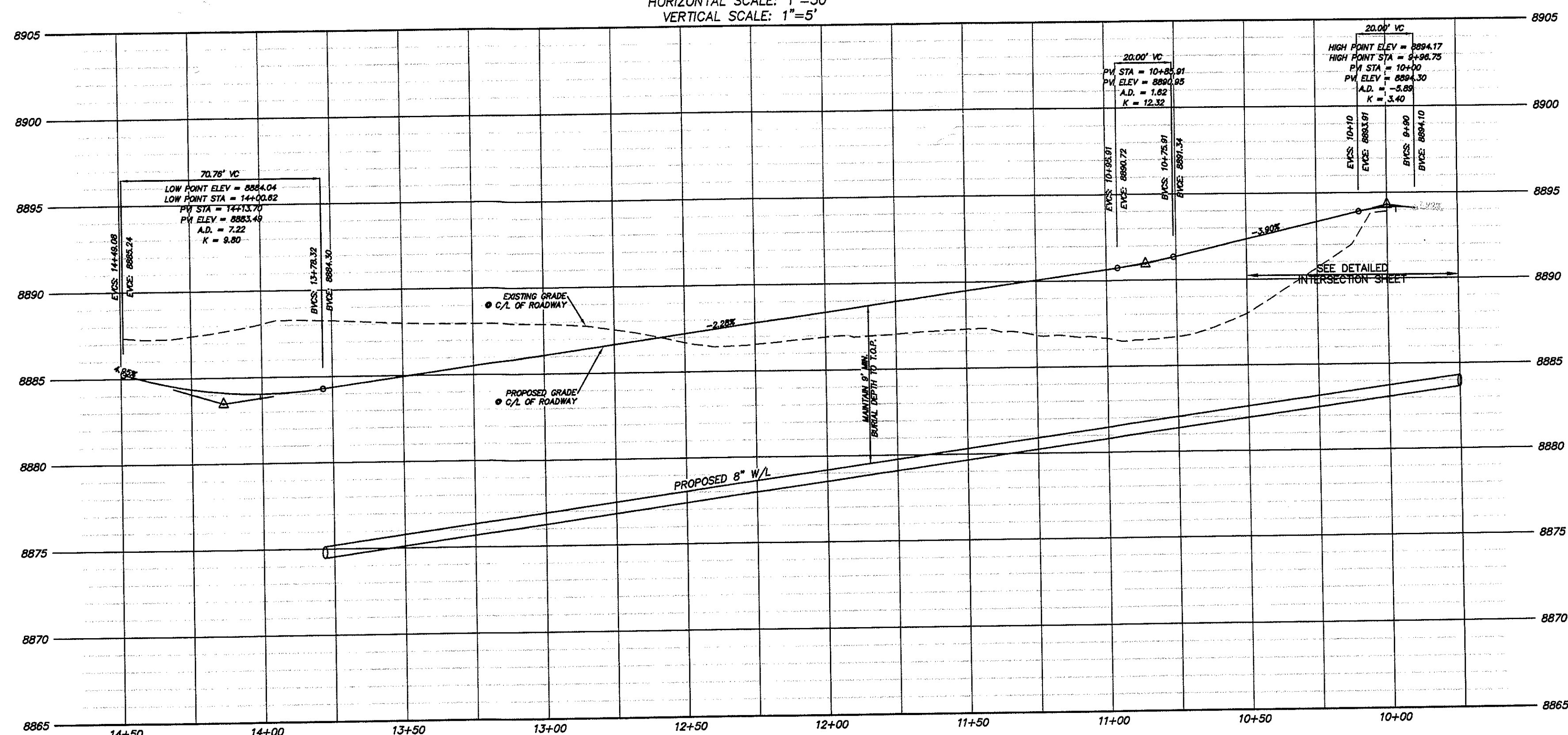
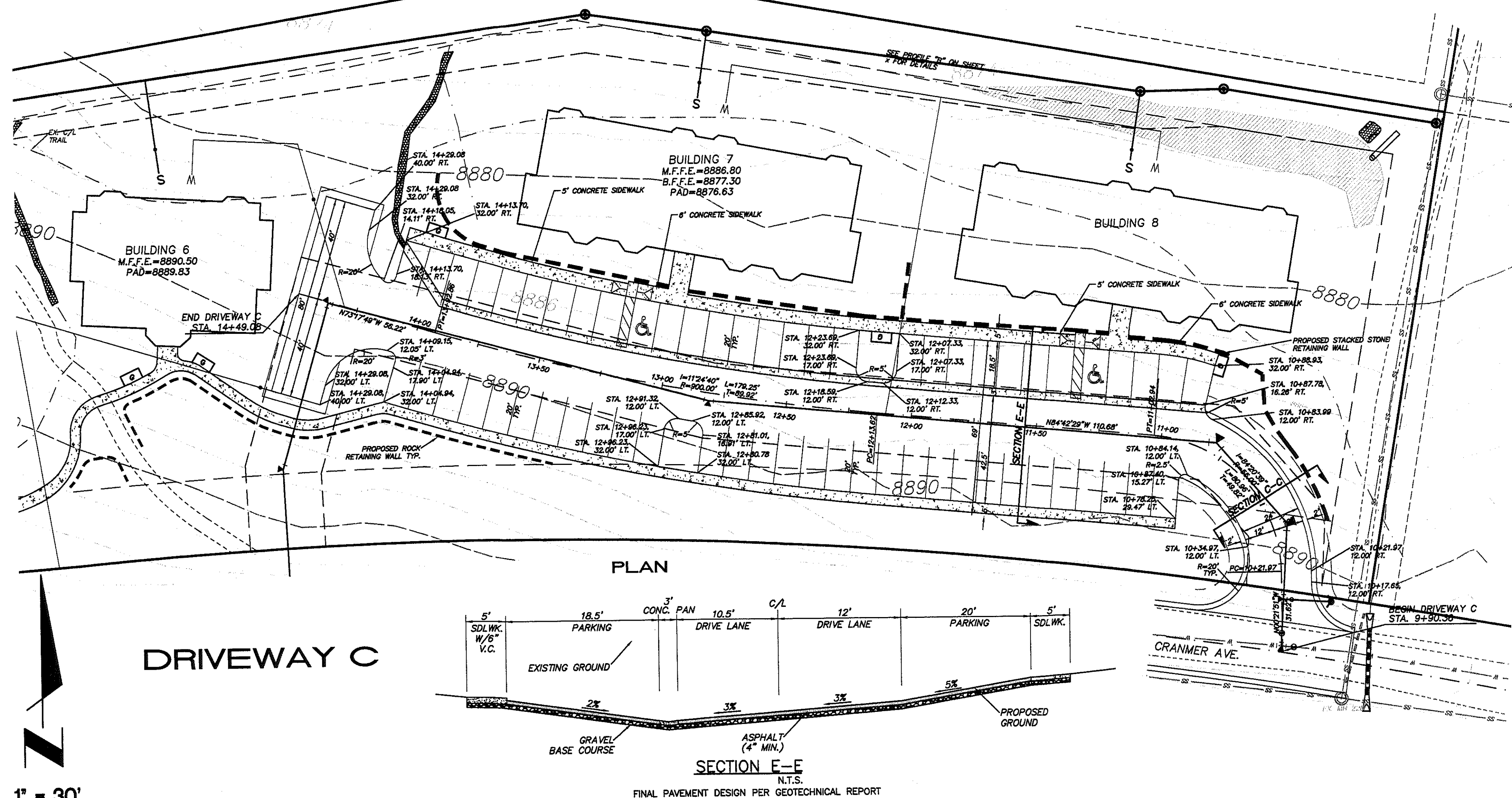
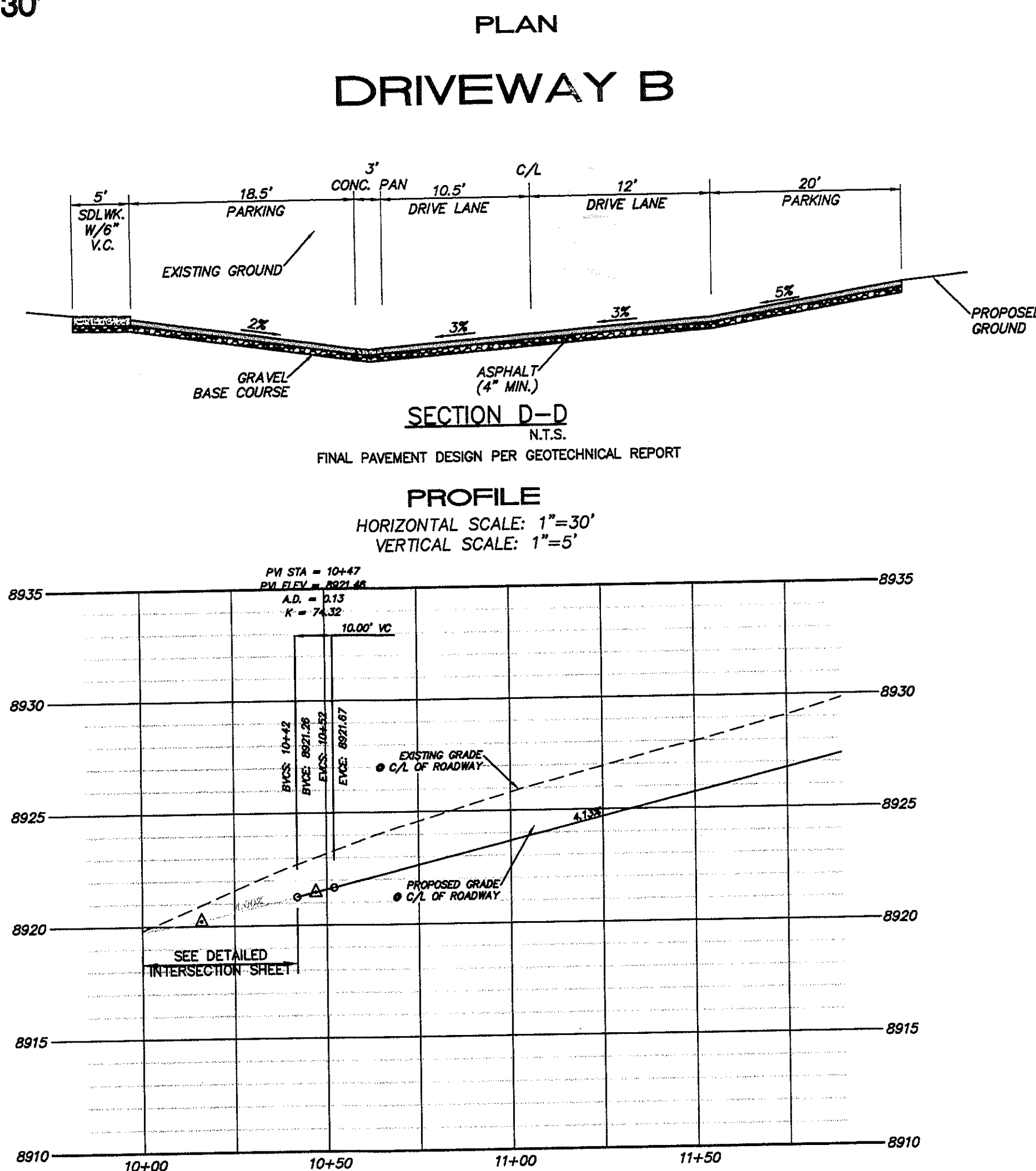
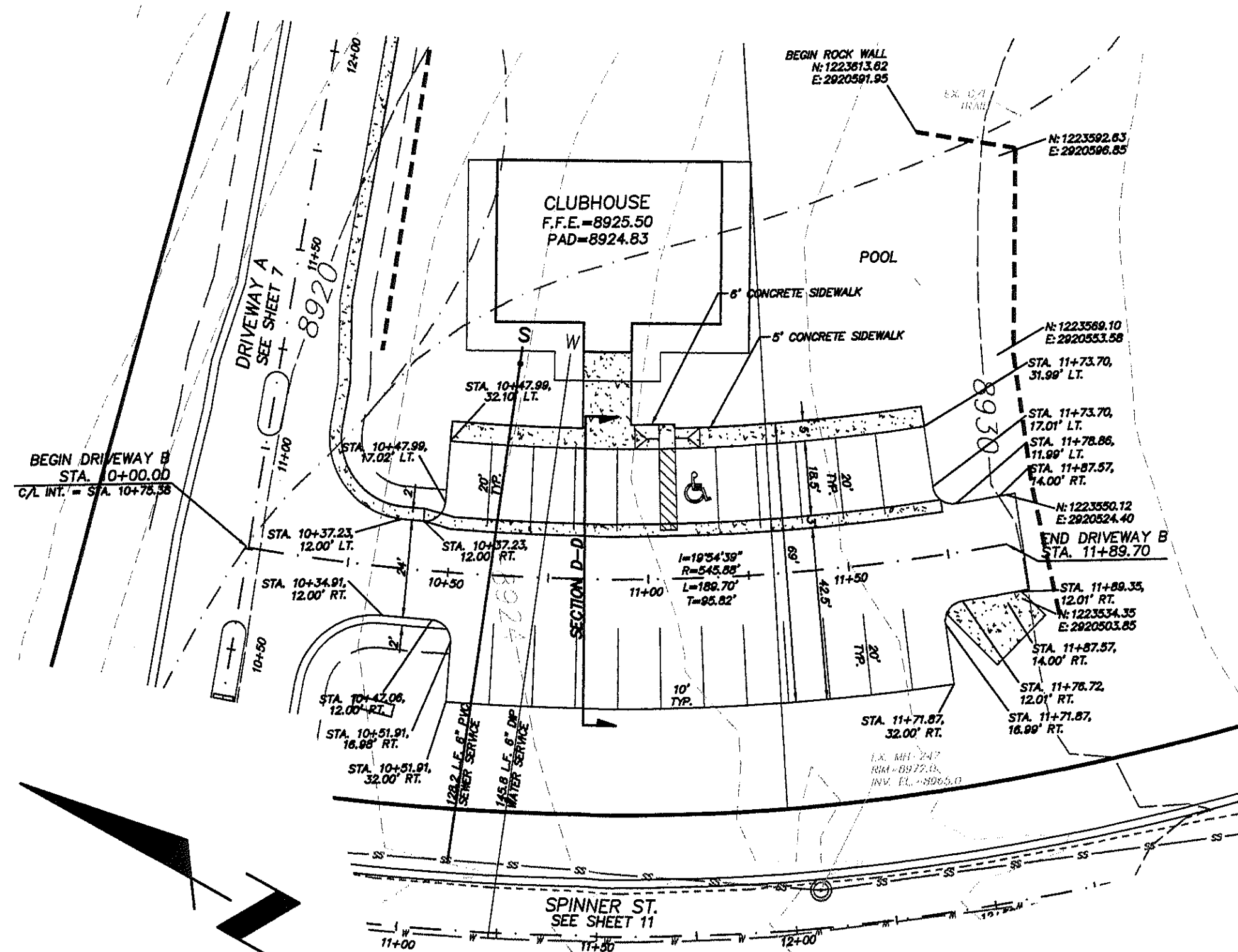
**CASCADE ENGINEERING
& DRAINAGE, INC.**

at WINTER PARK STATION
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				CHECK'D BY (Designer): RAL
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				SCALE: HORIZONTAL: 1"=30' VERTICAL: 1"=6'
NO.	DATE			APPR.

DRIVEWAY PLAN & PROFILE FOR THE RIDGE at WINTER PARK CONDOMINIUM

SHEET NO.
8 OF 22



IF YOU DIG COLORADO -- CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
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EXCAVATION FOR UTILITY LOCATIONS

*NOTE: CONTRACTOR SHALL POTHOLE
TO DETERMINE LOCATION AND DEPTH
OF EXISTING UTILITIES AT CONNECTION
POINTS PRIOR TO CONSTRUCTION.
VERIFY SIZE AND MATERIAL OF PIPE.
NOTIFY ENGINEER OF LOCATION AND
ELEVATION.

CASCADE ENGINEERING
& DRAINAGE, INC.

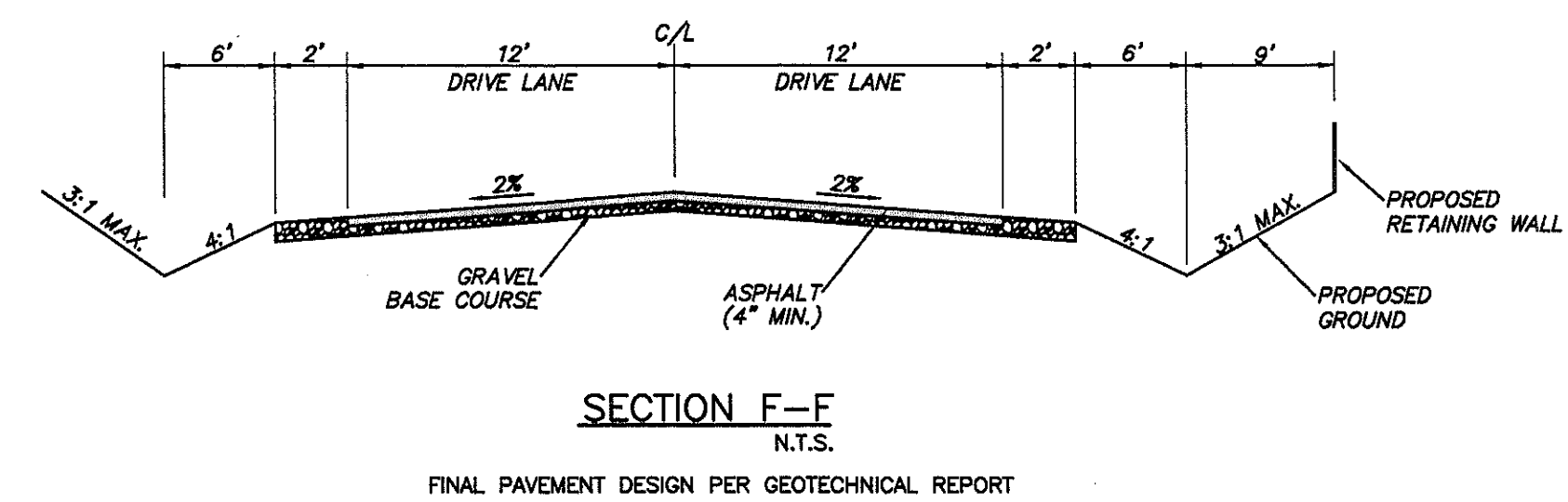
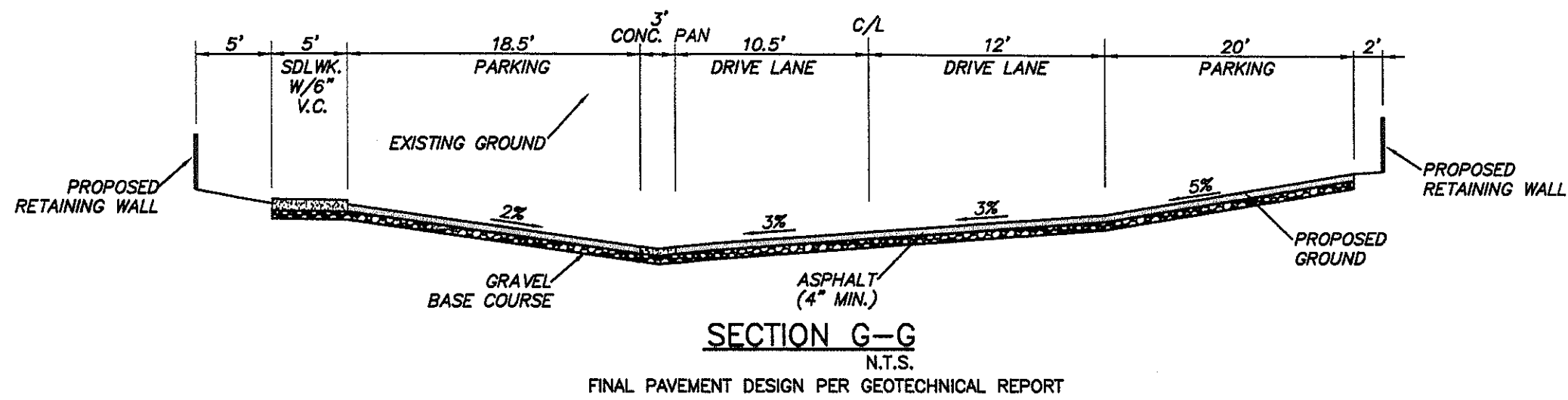
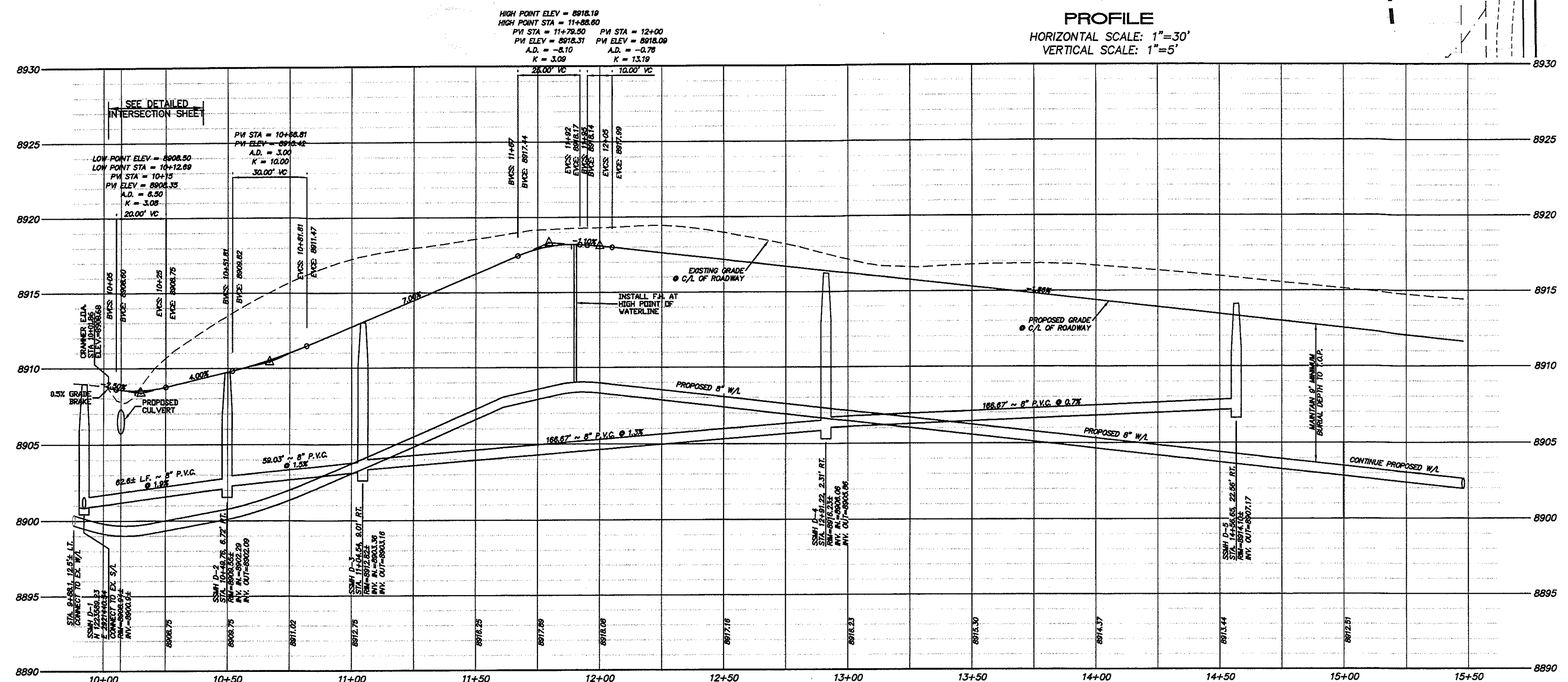
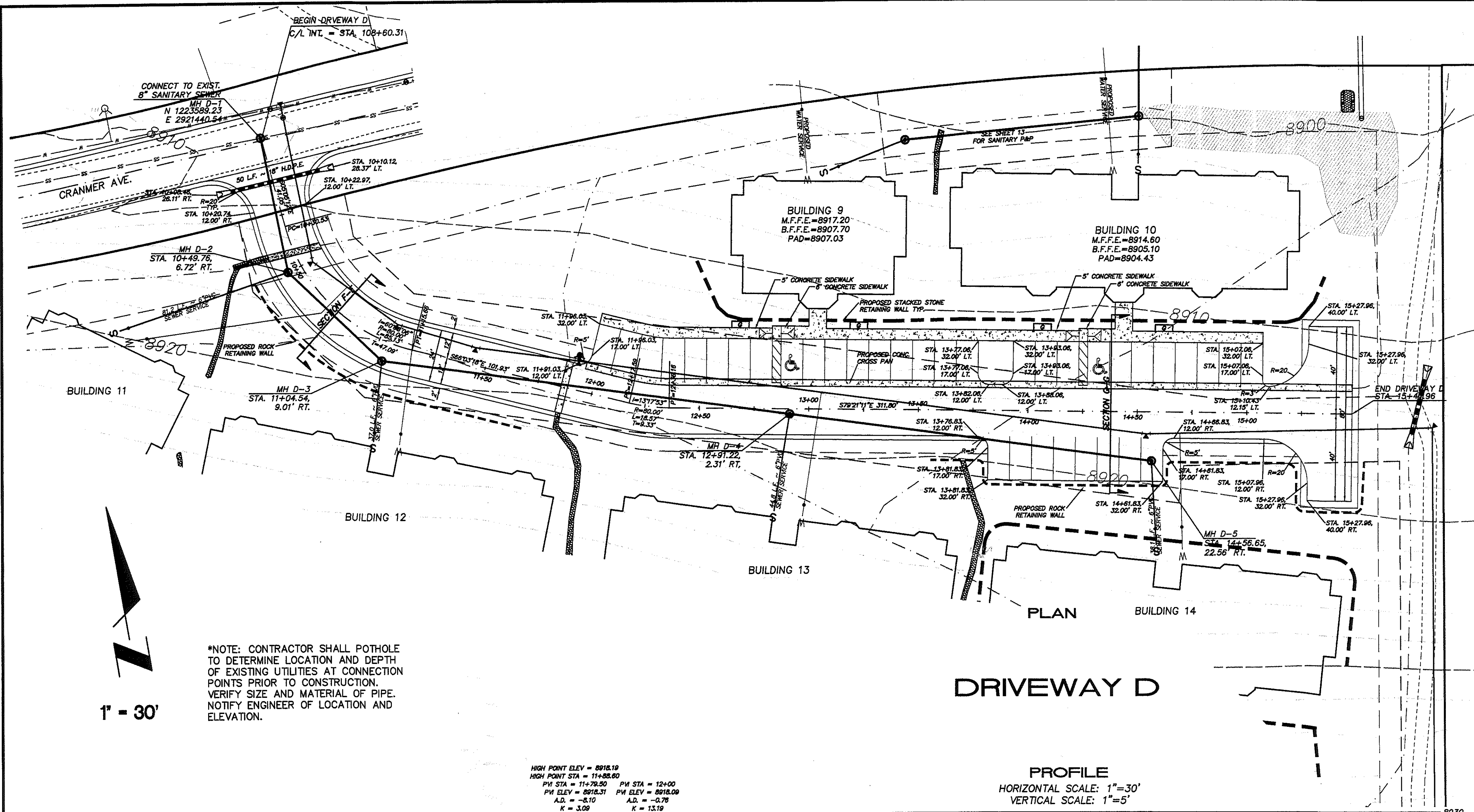
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

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				DRAWN BY: DSS
				CHECKED BY (Design): RAL
				DATE: 8/9/2007
				SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'
NO.	DATE			APPR.

DRIVEWAY PLAN & PROFILE
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM

LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
9 OF 22



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**CASCADE ENGINEERING
& DRAINAGE, INC.**

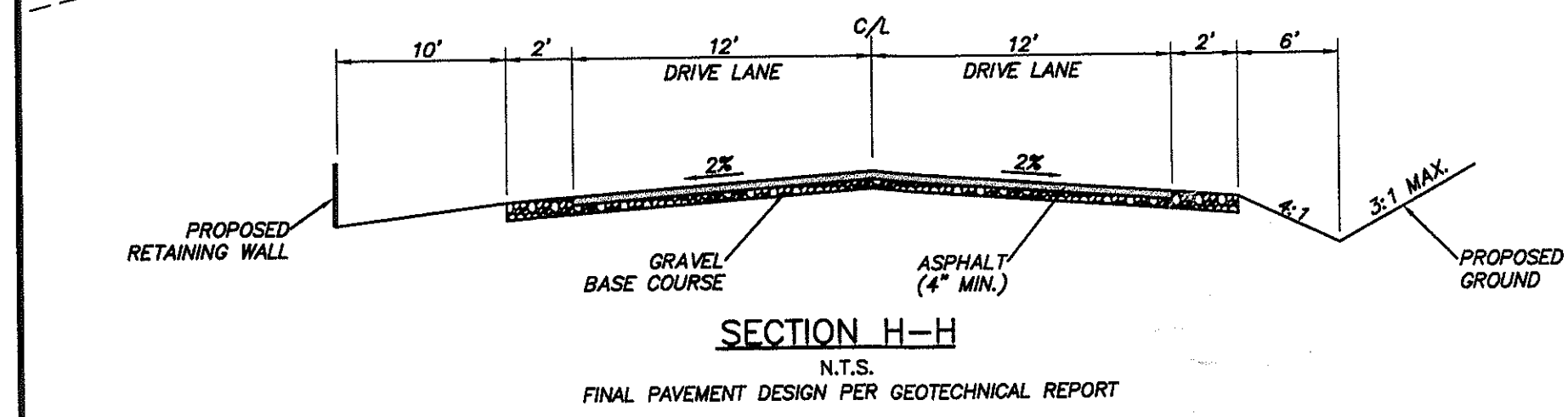
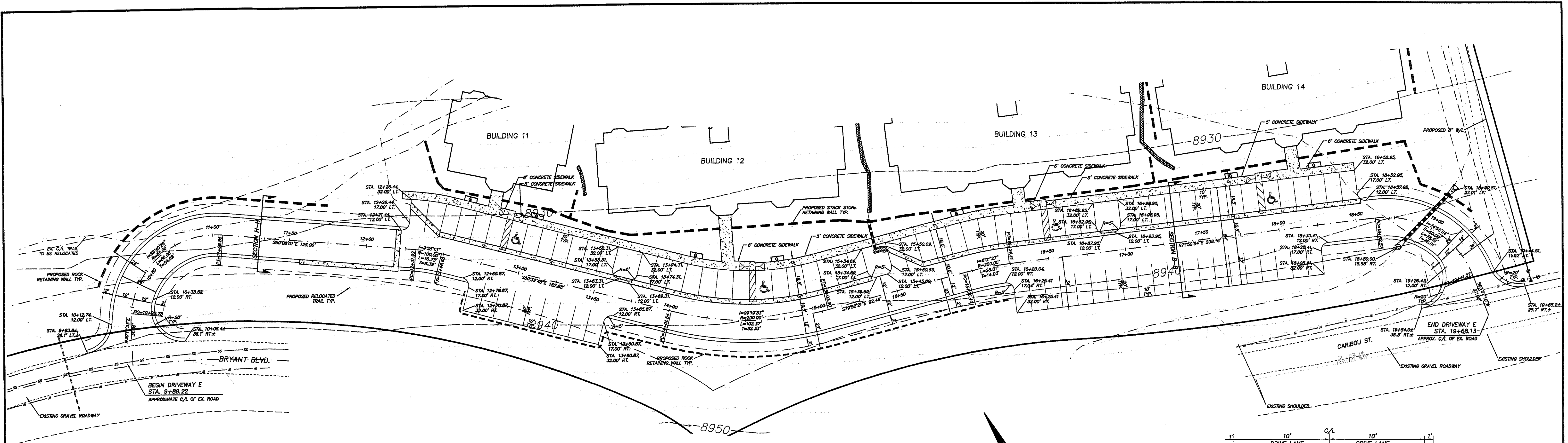
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

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					DATE:	8/9/2007
					SCALE:	HORIZONTAL: 1"=30' VERTICAL: 1"=6'
NO.	DATE				APPR.	

**DRIVEWAY PLAN & PROFILE
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM**

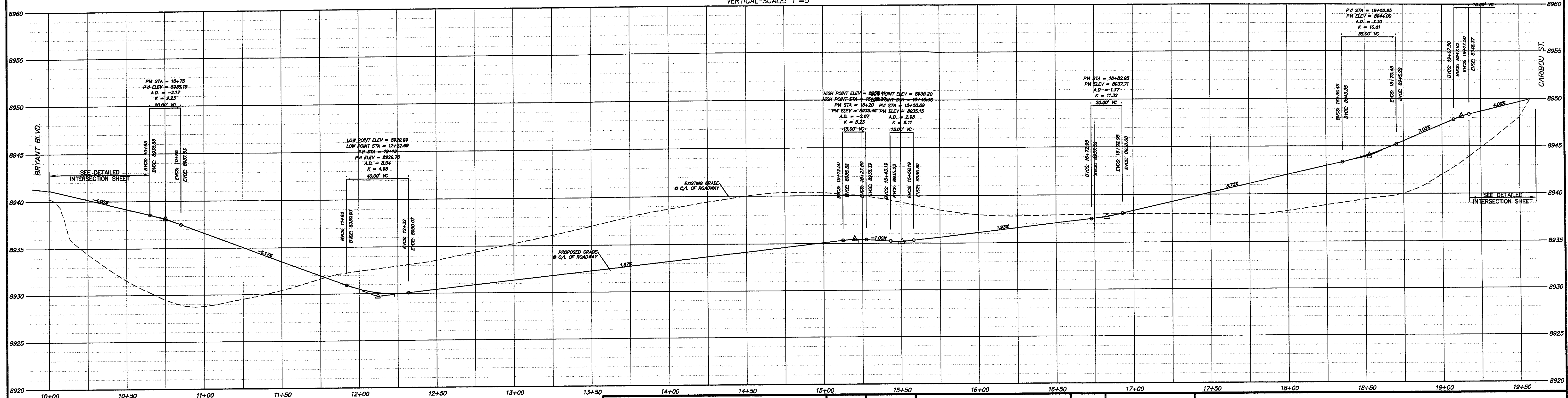
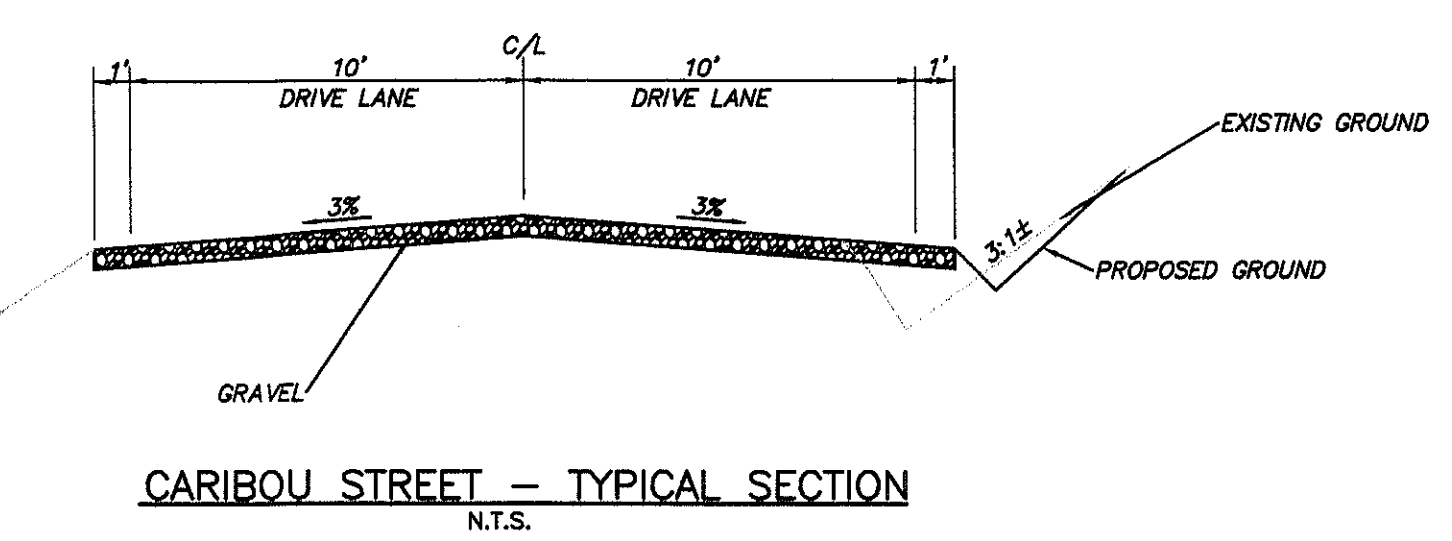
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
10 of 22



PLAN
DRIVEWAY E

PROFILE
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'

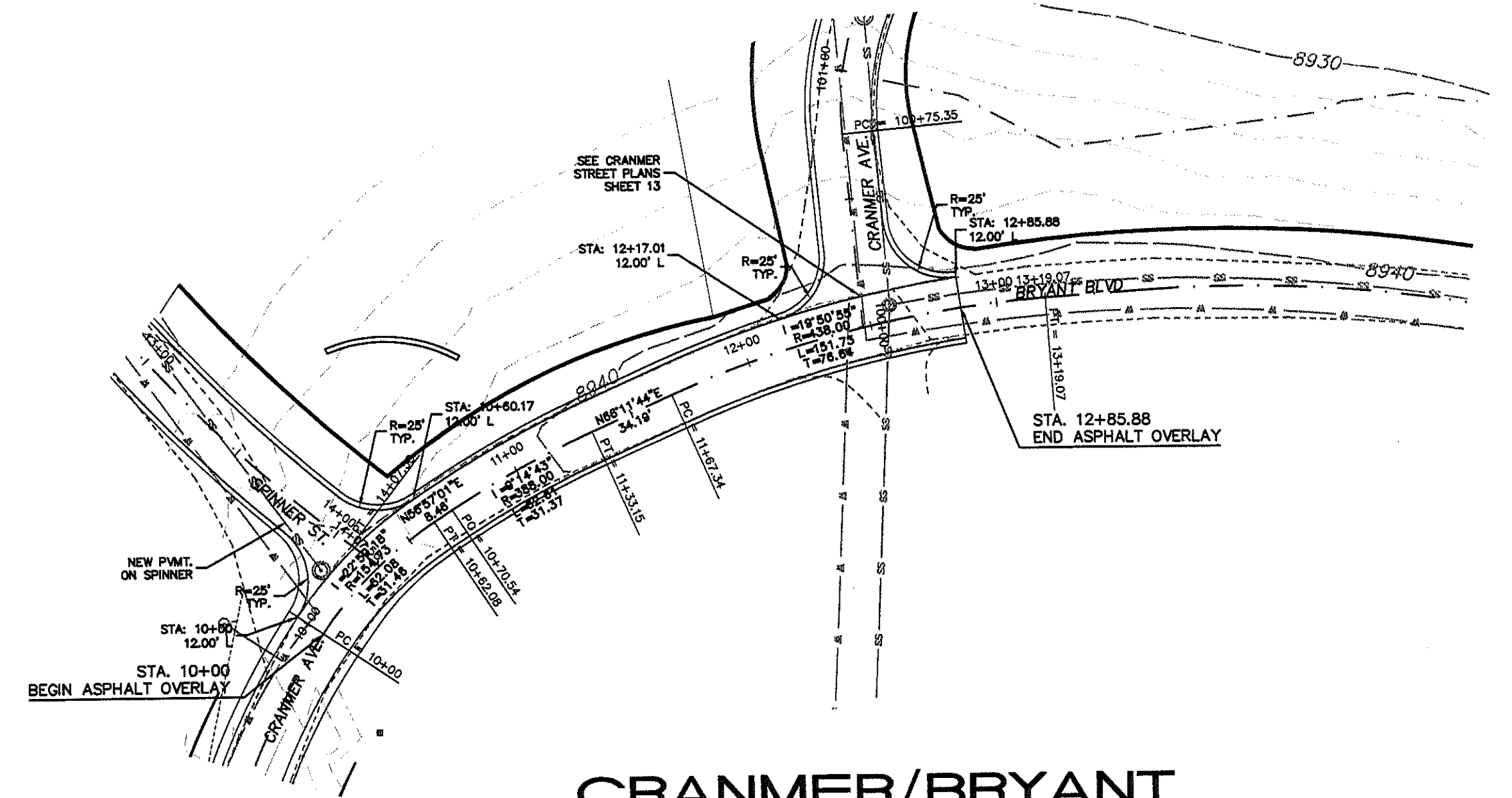


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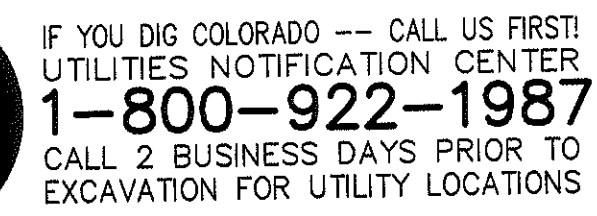
**CASCADE ENGINEERING
& DRAINAGE, INC.**
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

DESIGN BY:	RAL/DSS	APPR.	
DRAWN BY:	DSS		
CHECKED BY:	RAL		
DATE:	8/9/2007		
SCALE:	HORIZONTAL 1"=30'		
	VERTICAL 1"=5'		
NO.	DATE		

**DRIVEWAY PLAN & PROFILE
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM**
LOCATED IN GRAND COUNTY, COLORADO
SHEET NO.
11 OF 22



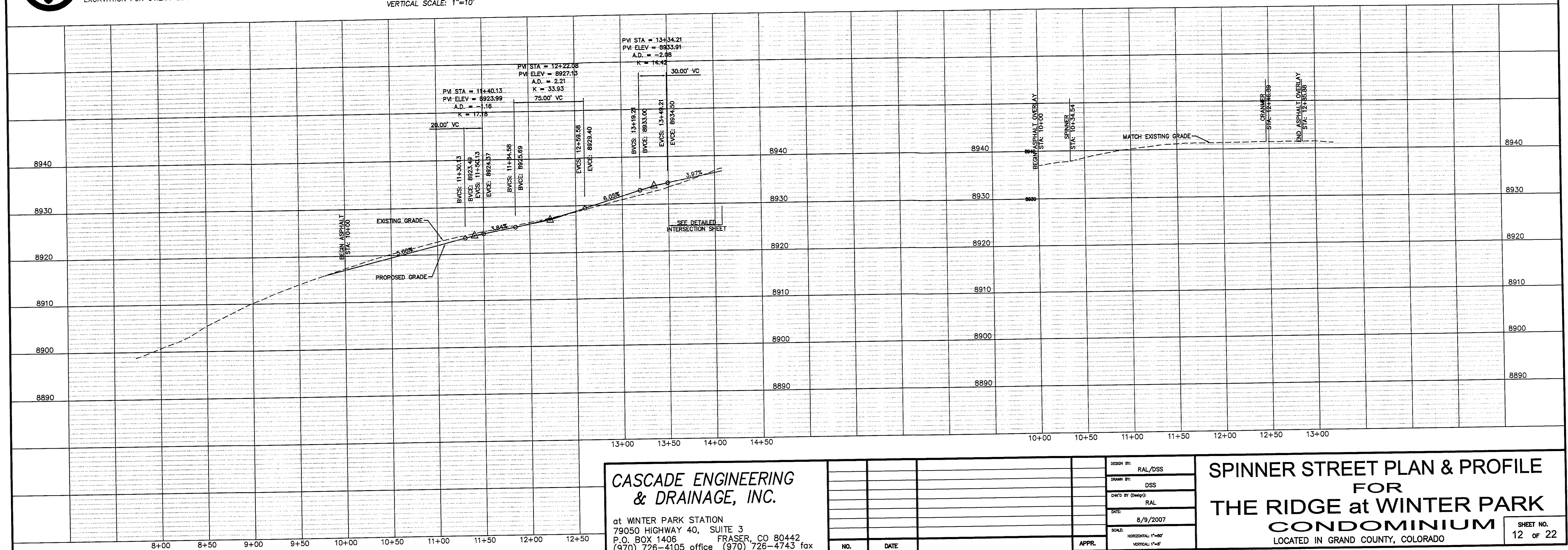
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CRANMER/BRYANT
(ASPHALT OVERLAY)



SPINNER STREET AND CRANMER (TO BRYANT) - TYPICAL SECTION
N.T.S.

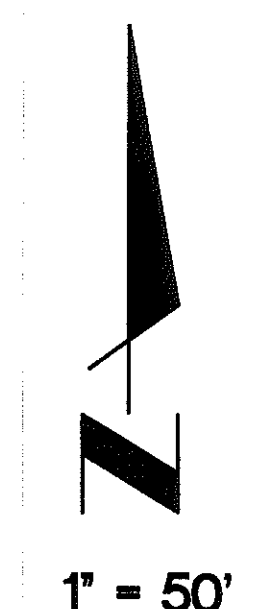
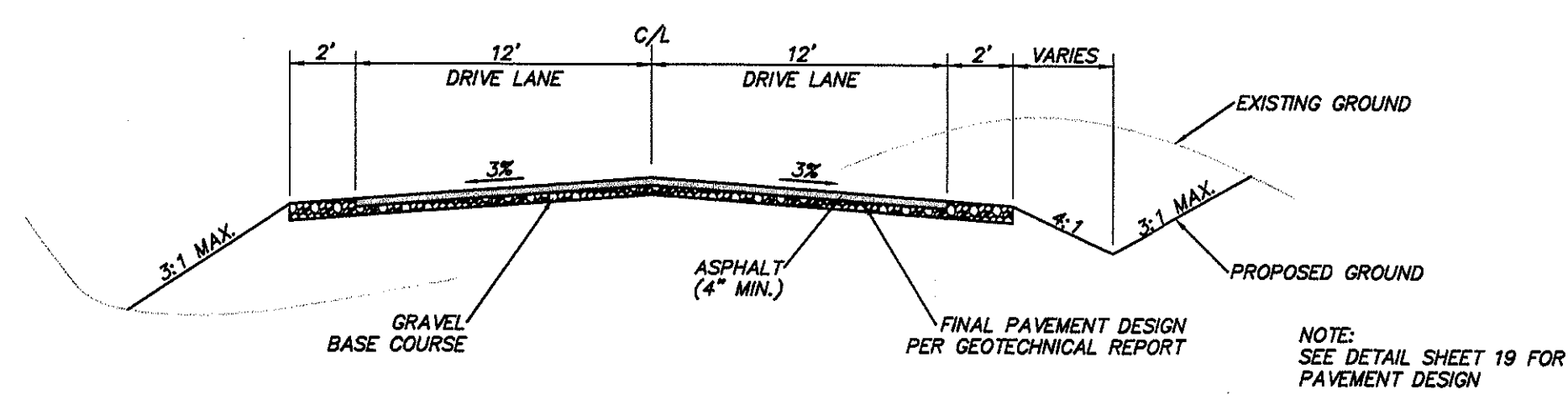
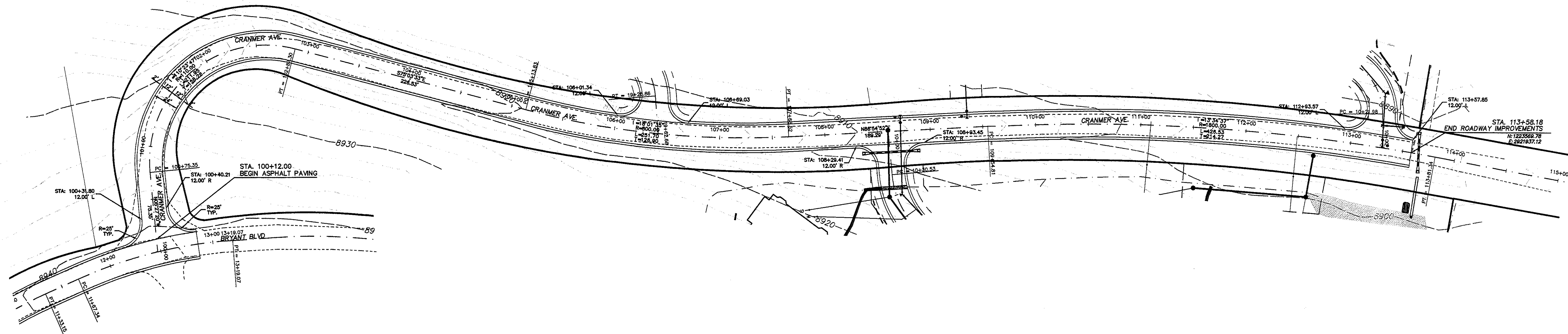


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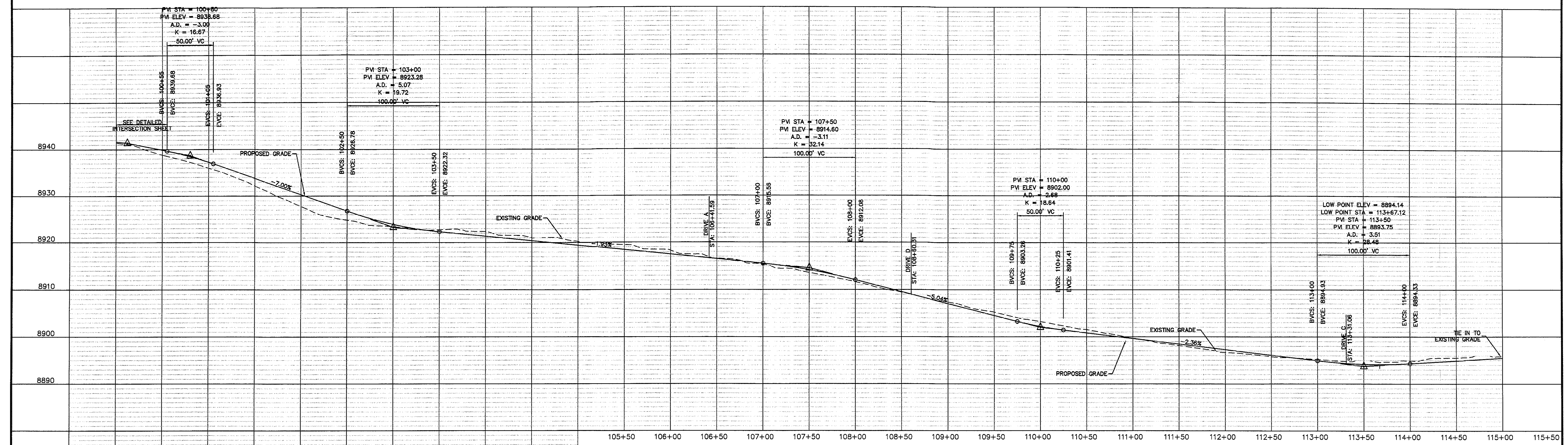
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NO.	DATE			APPR.	

SPINNER STREET PLAN & PROFILE FOR THE RIDGE at WINTER PARK CONDOMINIUM



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CRANMER DRIVE

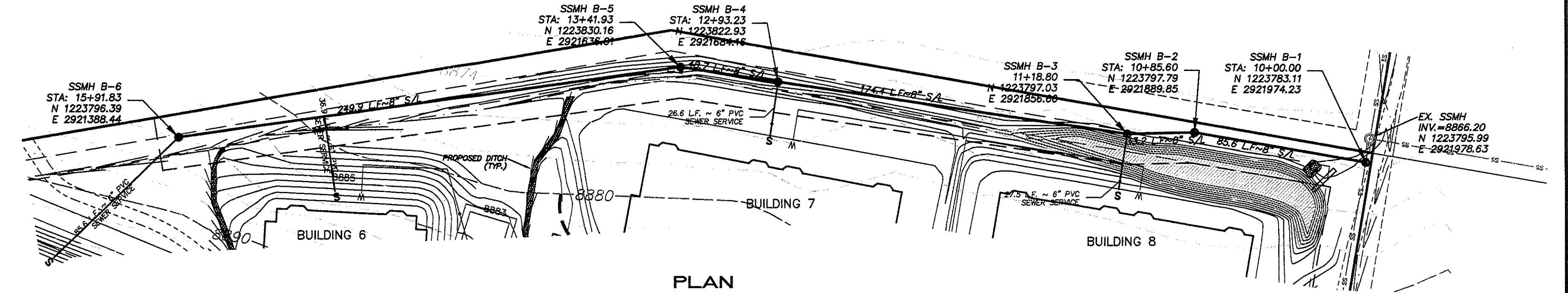
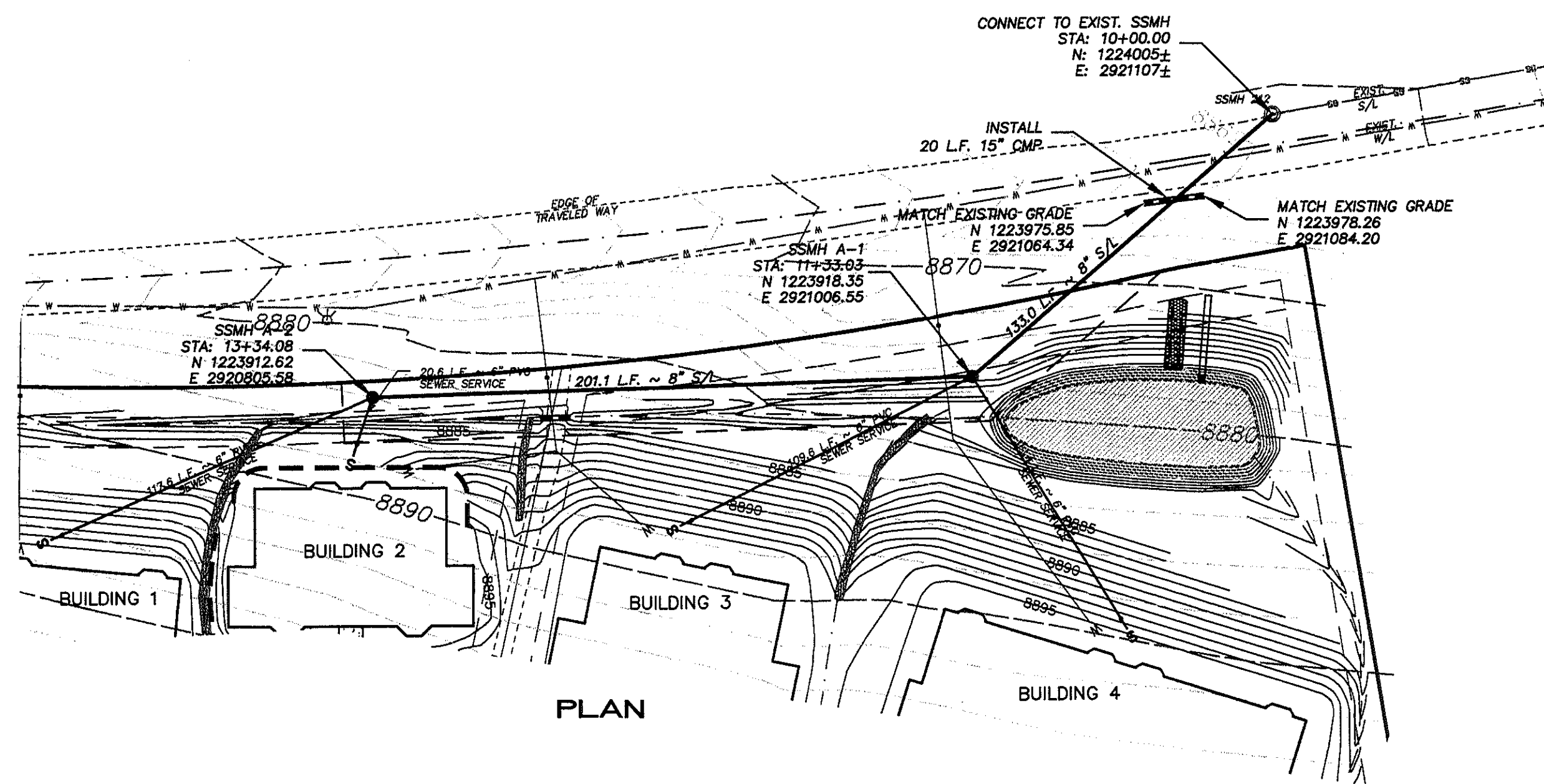


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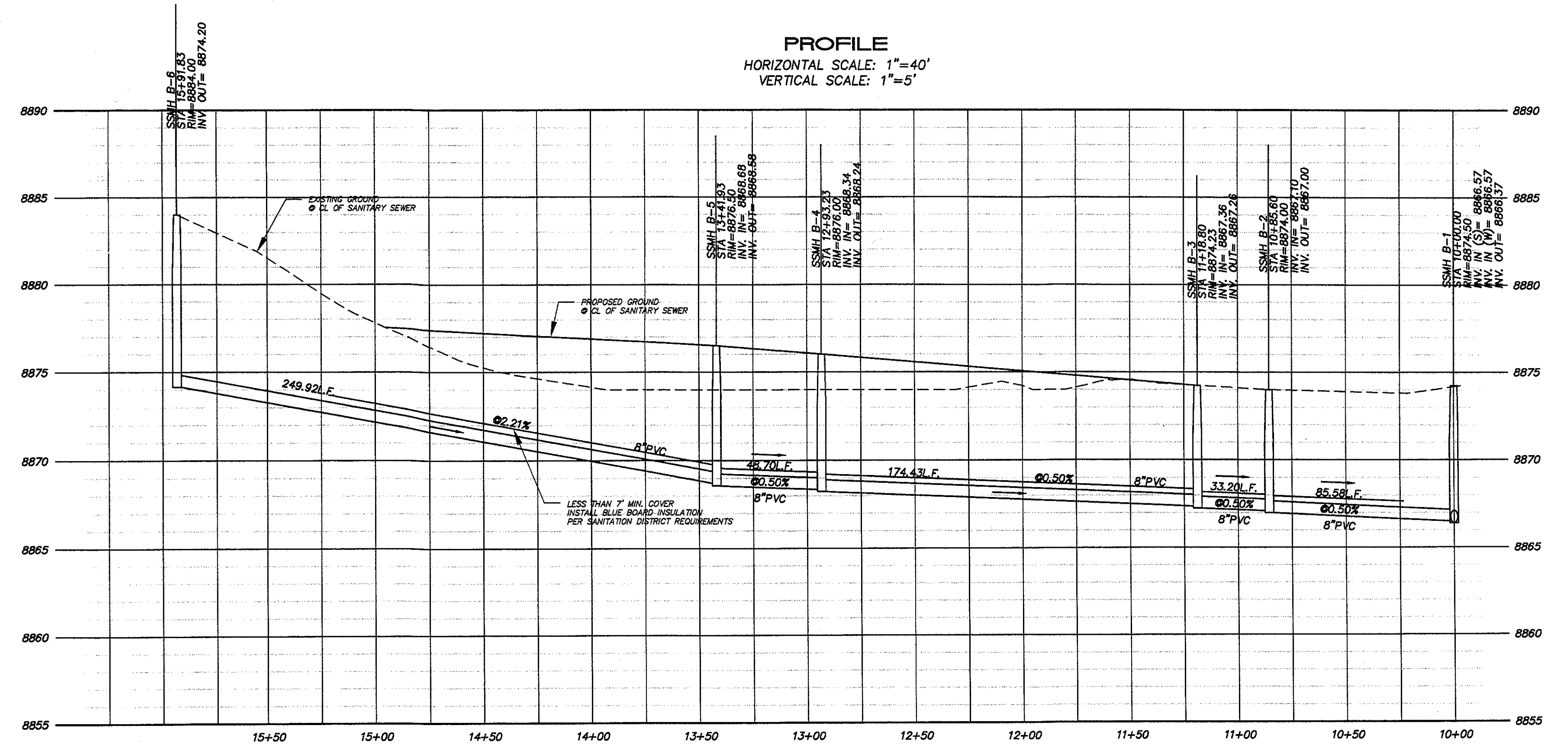
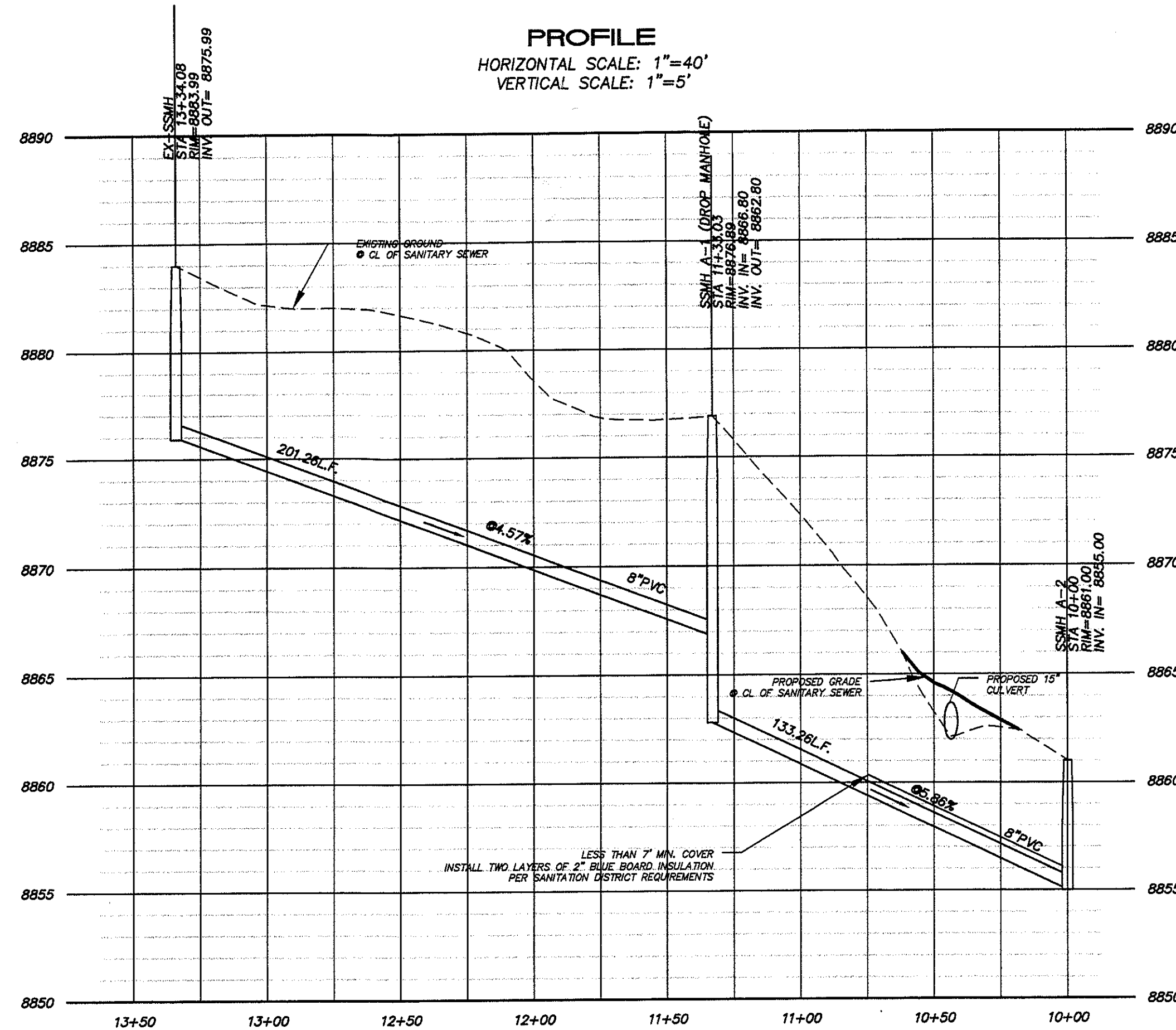
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NO.	DATE		APPR.	

**CRANMER AVENUE PLAN & PROFILE
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM**
LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
13 OF 22



*NOTE: CONTRACTOR SHALL POTHOLE TO DETERMINE LOCATION AND DEPTH OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO CONSTRUCTION. VERIFY SIZE AND MATERIAL OF PIPE. NOTIFY ENGINEER OF LOCATION AND ELEVATION.



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1-800-922-1987
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**CASCADE ENGINEERING
& DRAINAGE, INC.**

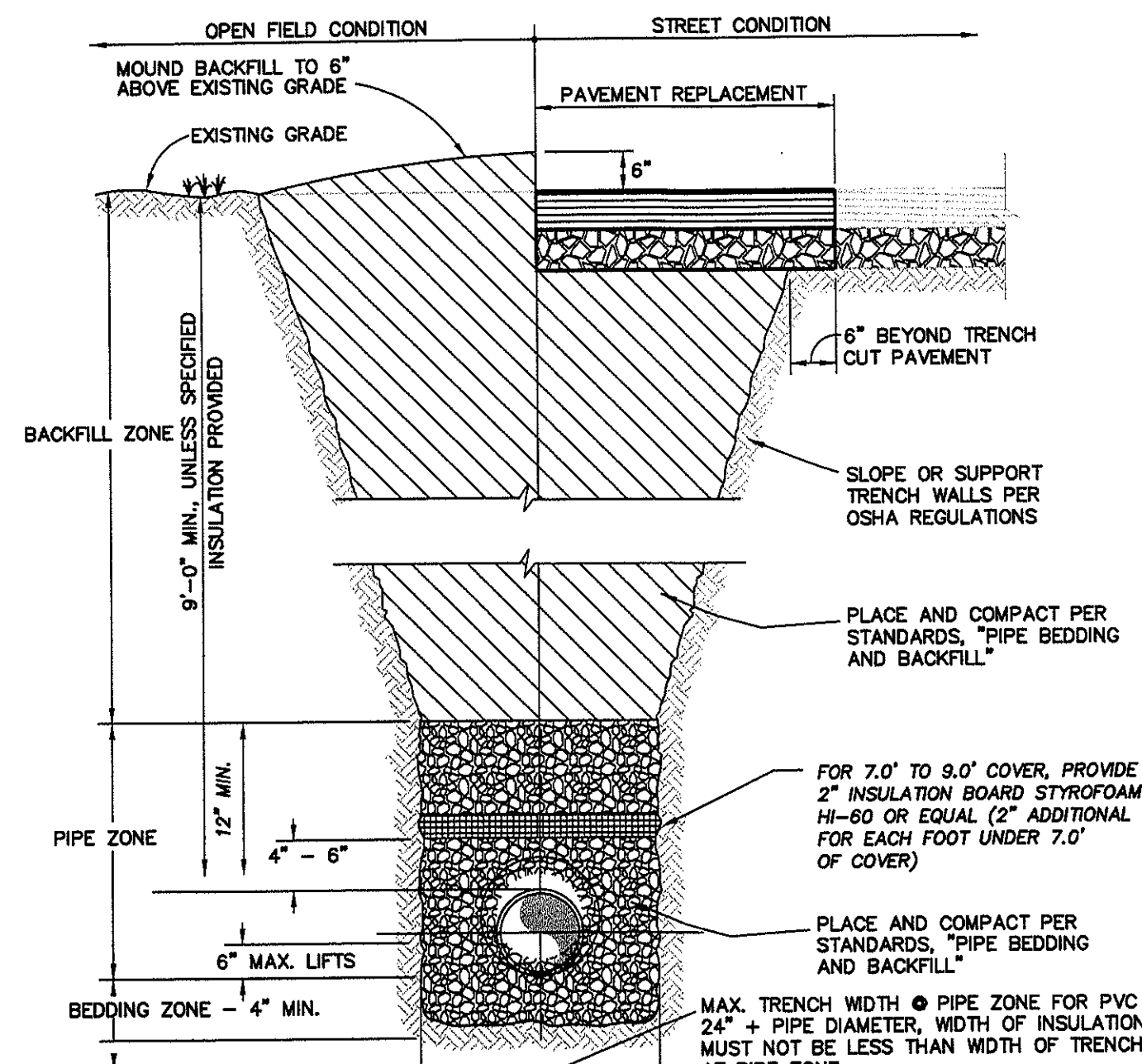
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
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					CHECK'D BY (Design): RAL
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	NO.	DATE		APPR.	

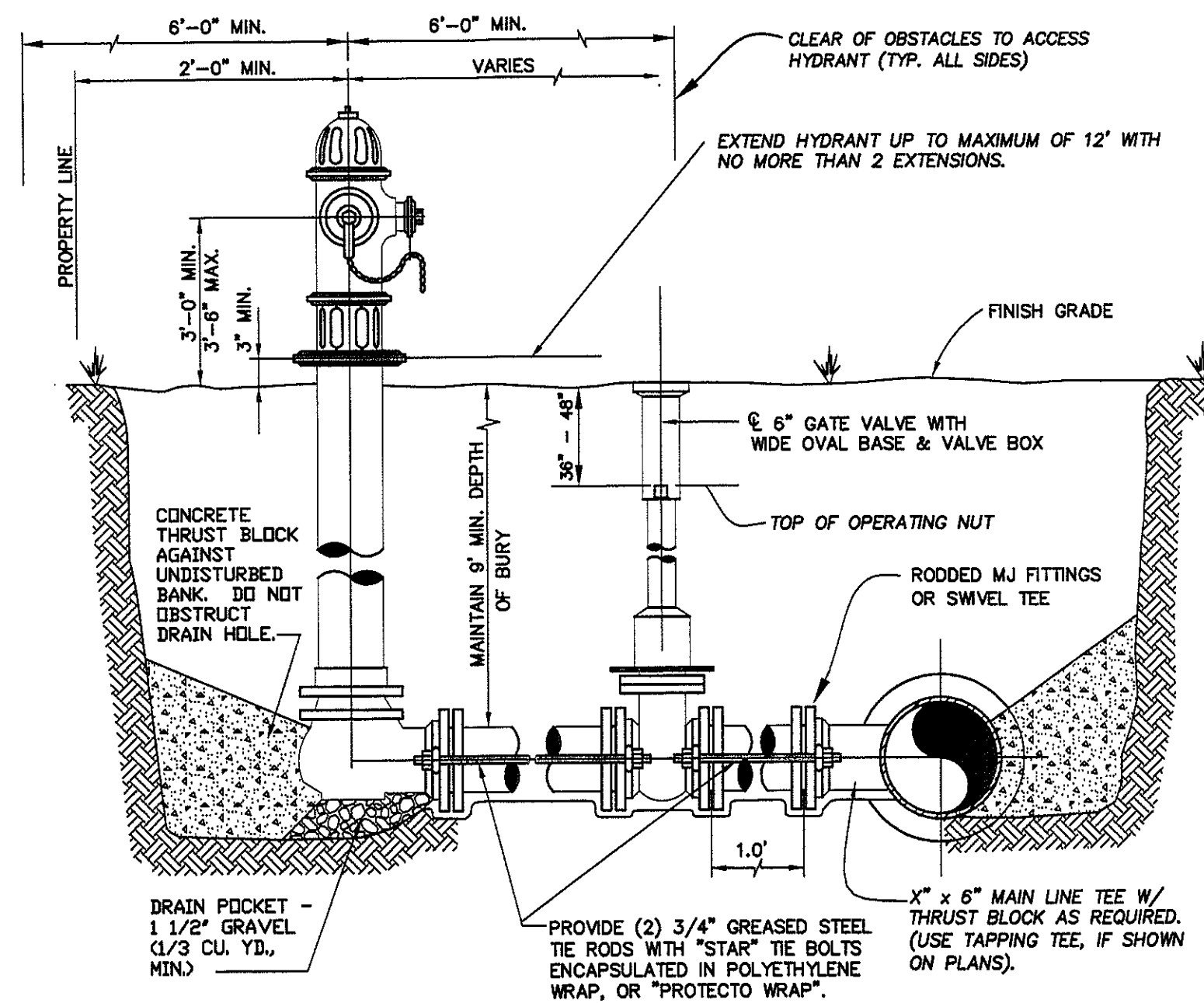
**SANITARY SEWER PLAN & PROFILE
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM**

LOCATED IN GRAND COUNTY, COLORADO

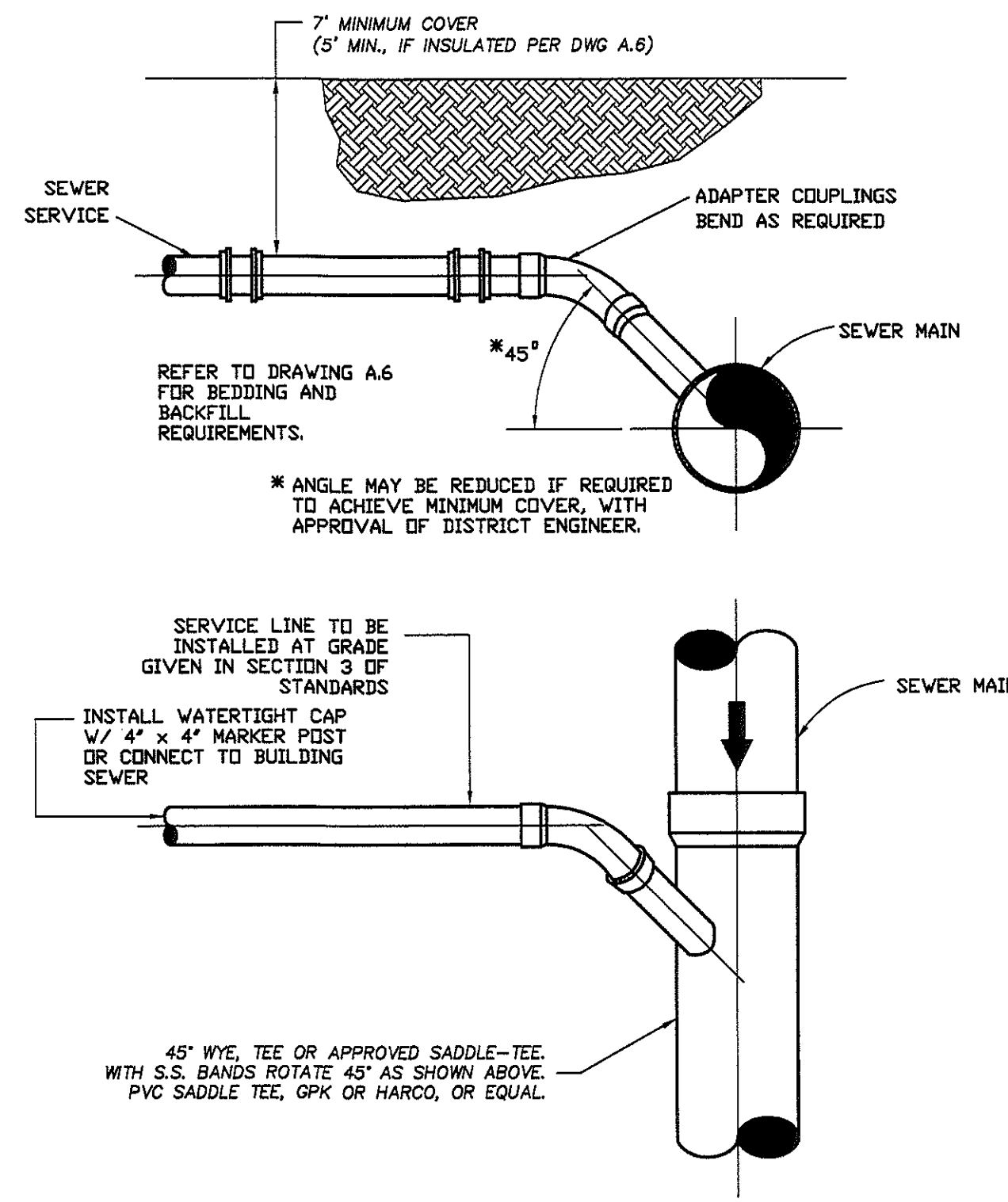
SHEET NO.
14 of 22



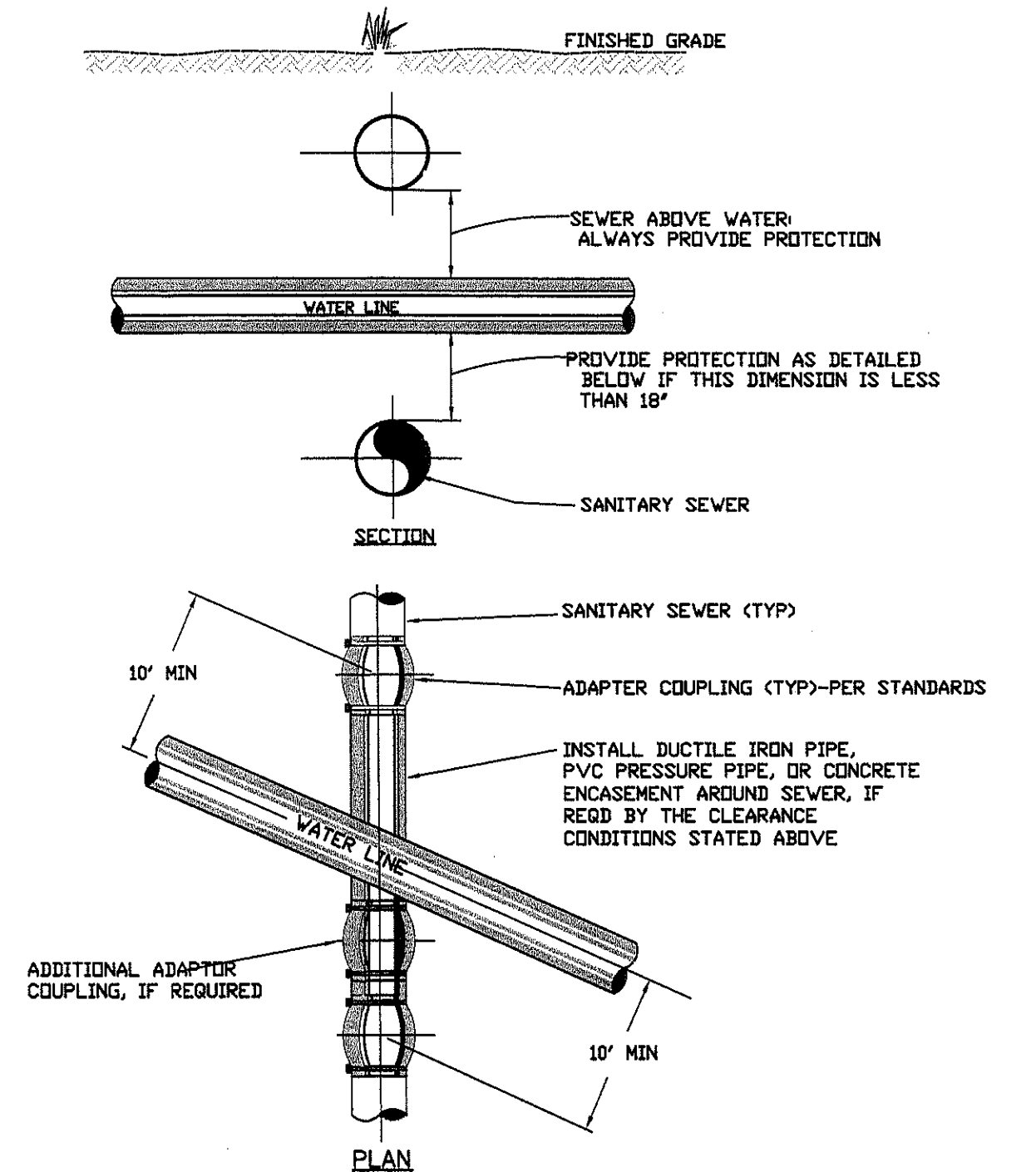
Water Main Bedding and Backfill Detail
 Winter Park Ranch - Water & Sanitation District - Water System
 Standard Details Dwg. 2.7



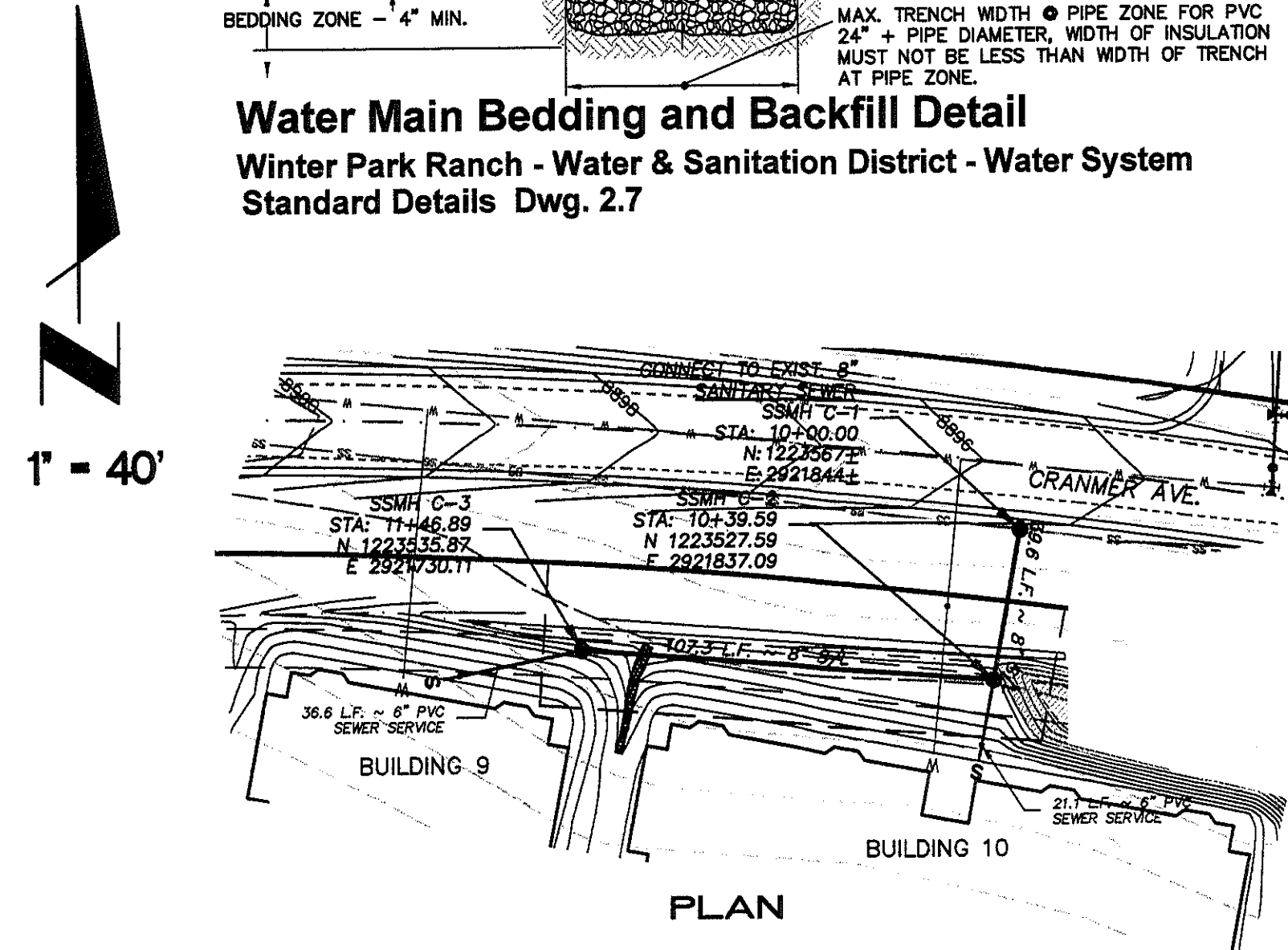
Standard Fire Hydrant Detail
 Winter Park Ranch - Water & Sanitation District - Water System
 Standard Details Dwg. 2.11



Sewer Service Connection Detail
 Winter Park Ranch Water and Sanitation District
 Standard Details Dwg. B.1

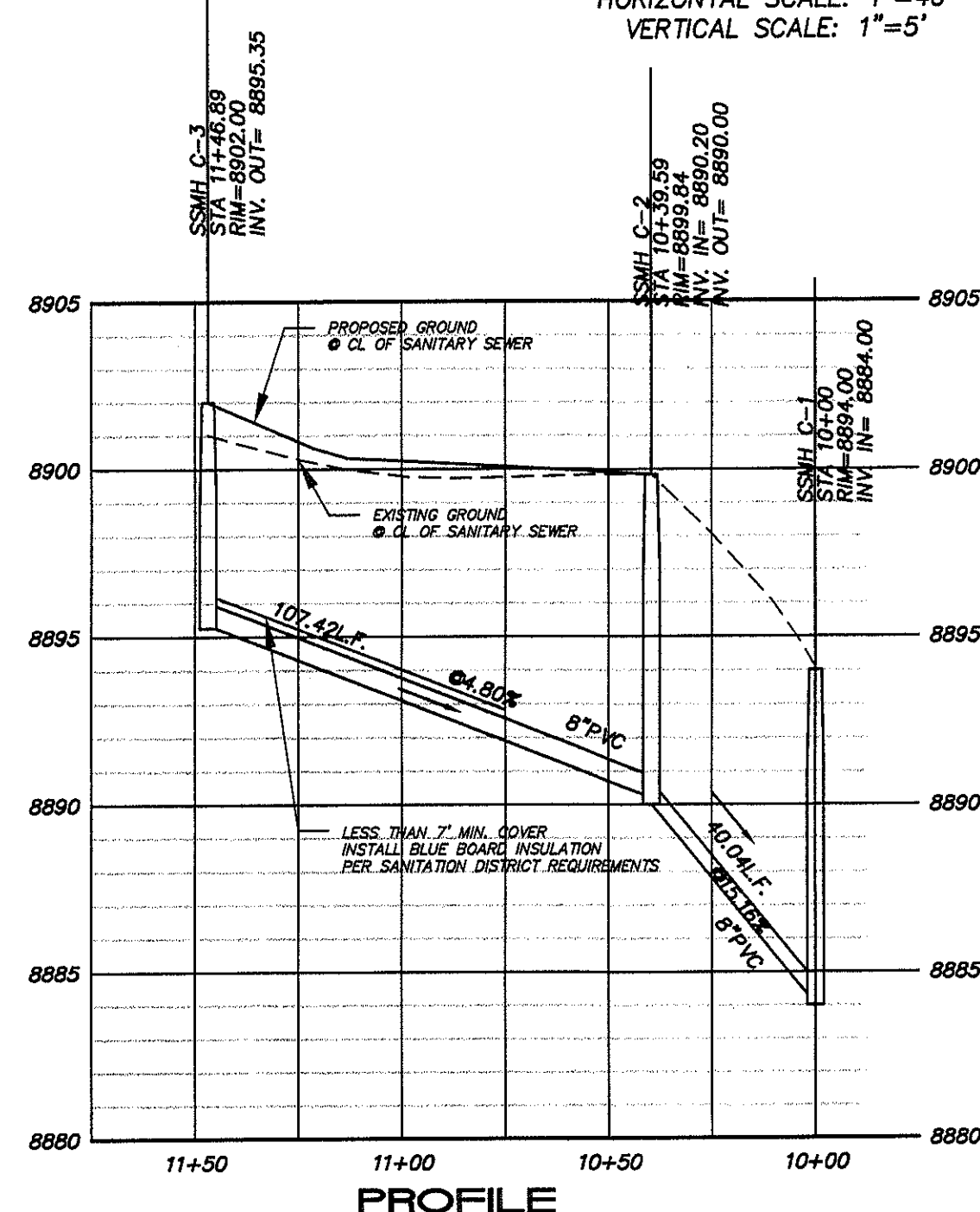


Sewer Crossing Water Line Detail
 Winter Park Ranch -Water & Sanitation District
 Standard Details Dwg. A.8

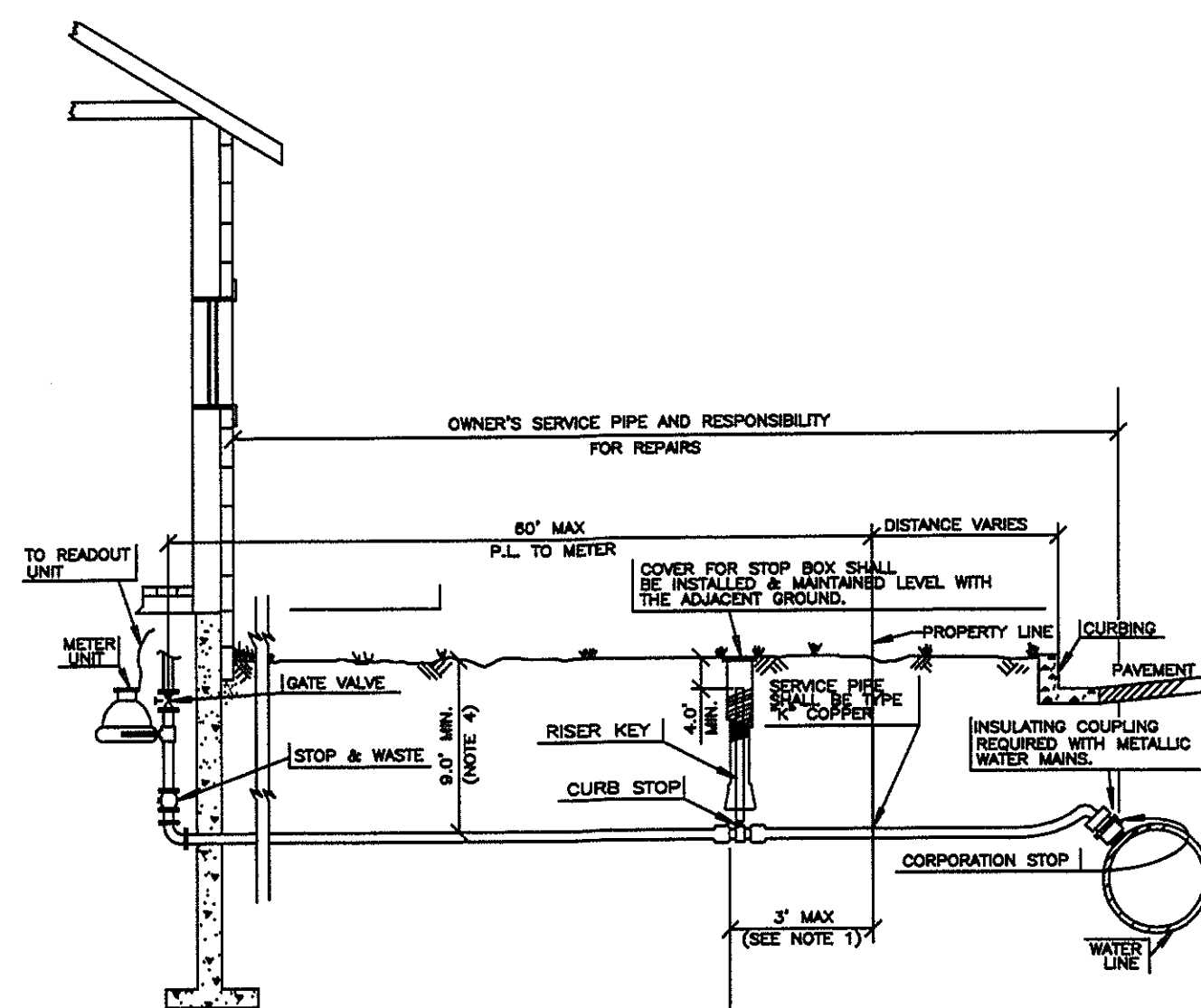


SANITARY SEWER "C"

HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=5'



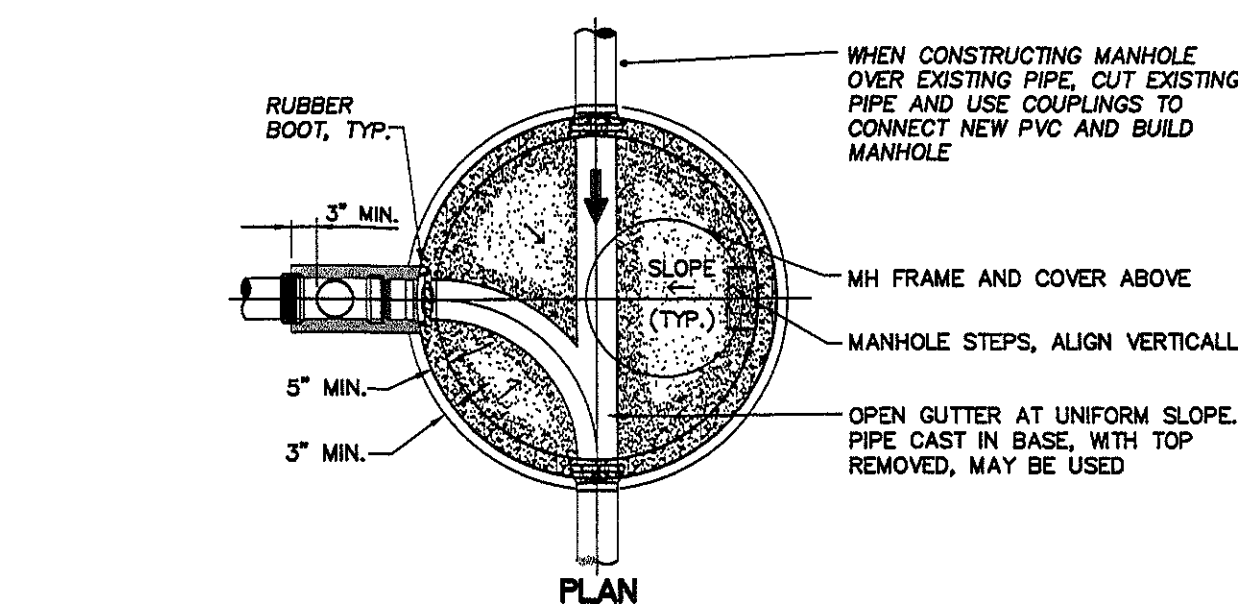
PROFILE



SERVICE LINE, STOP BOX AND INSIDE METER INSTALLATION

Winter Park Ranch - Water & Sanitation District - Water System
 Standard Details Dwg. 3.1

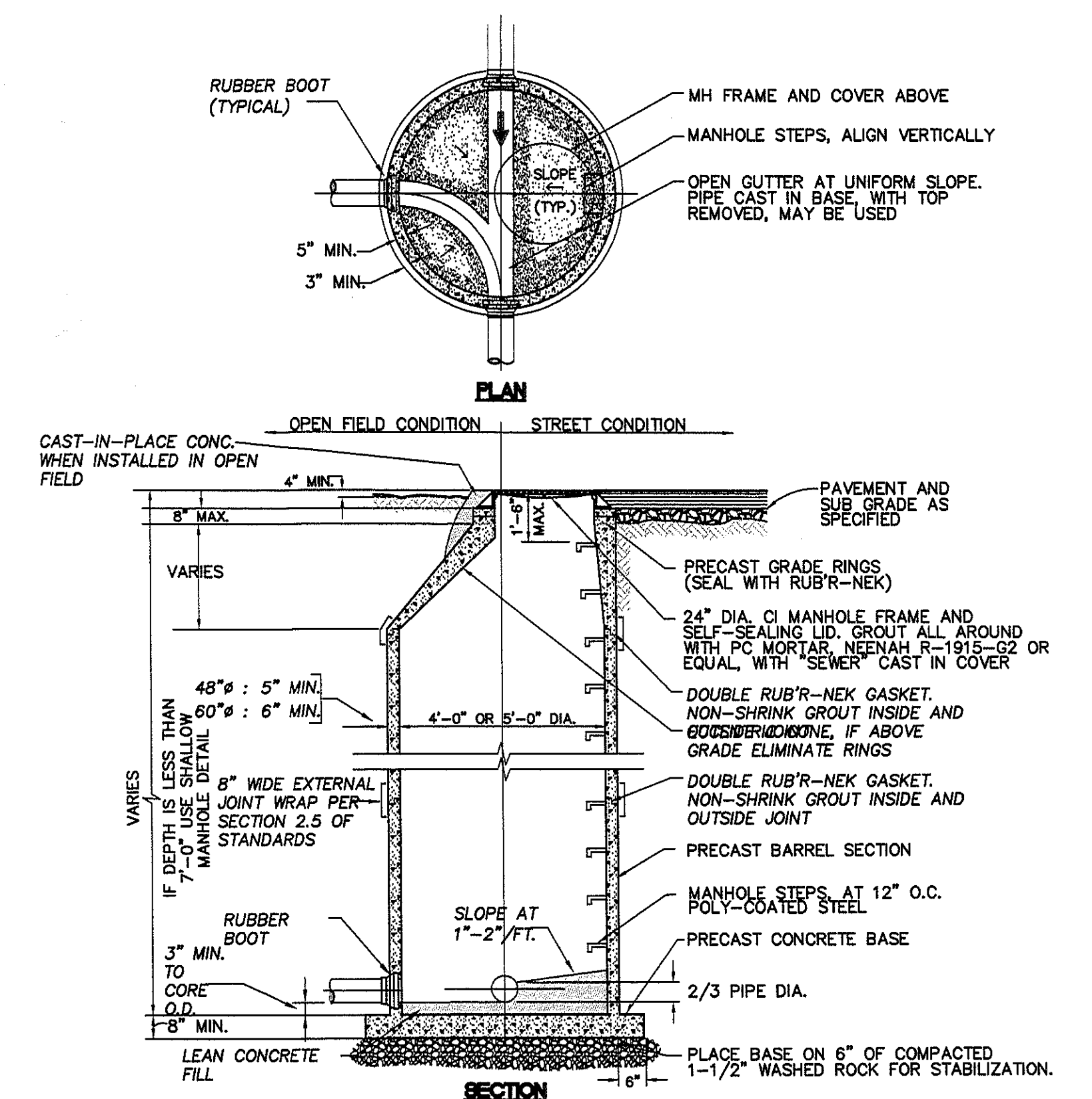
- NOTES:
- 1 - PLACEMENT OF STOP BOX IS TO BE A MAXIMUM OF 3 FEET INSIDE THE PROPERTY LINE (UNLESS OTHERWISE APPROVED).
 - 2 - OWNER'S RESPONSIBILITY FOR REPAIRS EXTENDS TO THE CORPORATION STOP.
 - 3 - THE DISTRICT OR OTHER PUBLIC ENTITIES ARE NOT RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR DUE TO A LEAK ON A SERVICE LINE. THIS IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY TO WHICH THE SERVICE LINE IS CONNECTED.
 - 4 - IF THE DEPTH OF COVER IS LESS, USE INSULATION PER DRAWING 2.7. THE "GOOSE NECK" AT THE CORPORATION STOP MAY HAVE LESS COVER AND MAY REQUIRE INSULATION EVEN IF THE REST OF THE SERVICE LINE DOES NOT.



Drop Detail for Manhole

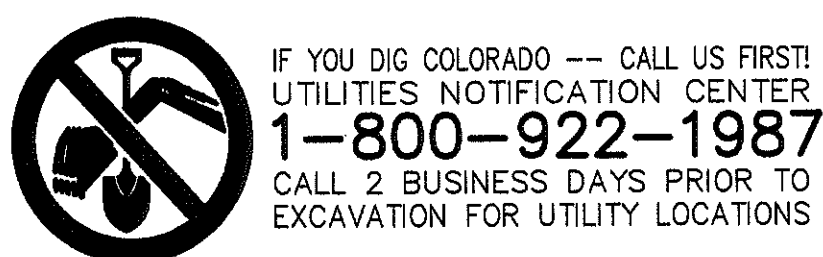
Winter Park Ranch Water and Sanitation District
 Standard Details Dwg. A.5

NOTE: CONTRACTOR TO COORDINATE WITH WPM&SD TO INSTALL INTERIOR DROP MANHOLE IN PLACE OF DETAIL AS SHOWN.



Standard Precast Concrete Manhole

Winter Park Ranch Water and Sanitation District
 Standard Details Dwg. A.3



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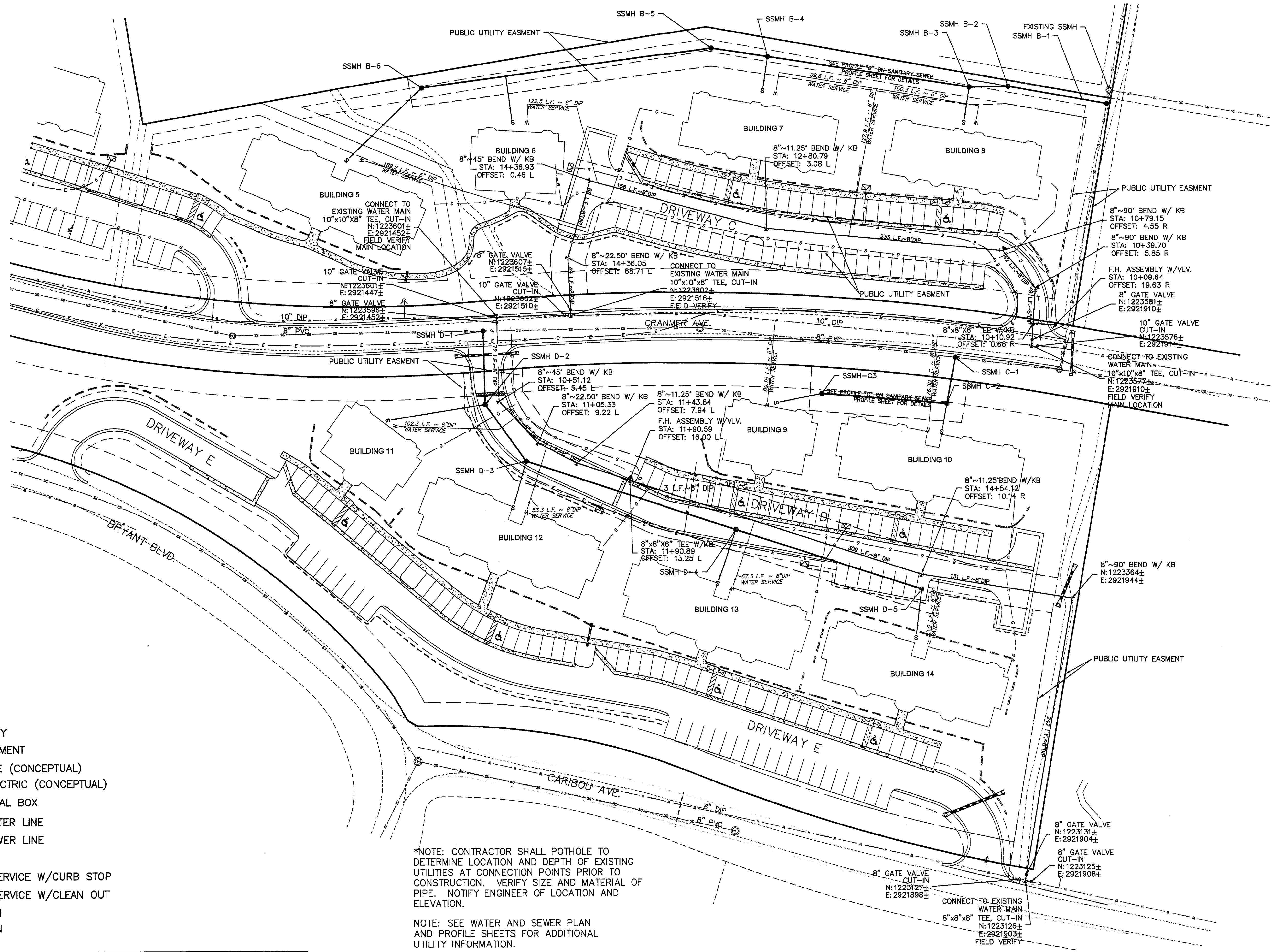
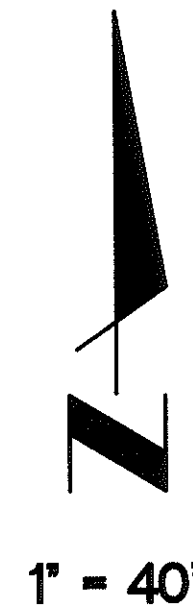
*NOTE: CONTRACTOR SHALL POTHOLE
 TO DETERMINE LOCATION AND DEPTH
 OF EXISTING UTILITIES AT CONNECTION
 POINTS PRIOR TO CONSTRUCTION.
 VERIFY SIZE AND MATERIAL OF PIPE.
 NOTIFY ENGINEER OF LOCATION AND
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**CASCADE ENGINEERING
 & DRAINAGE, INC.**

at WINTER PARK STATION
 79050 HIGHWAY 40, SUITE 3
 P.O. BOX 1406 FRASER, CO 80442
 (970) 726-4105 office (970) 726-4743 fax

WORKSHEET NO. _____ OF _____ SHEETS				DESIGN BY: RAL/DSS
				DRAWN BY: DSS
				CHECKED BY (Design): RAL
				DATE: 8/9/2007
				SCALE: HORIZONTAL 1"=40' VERTICAL 1"=5'
NO.	DATE		APPR.	

**SANITARY SEWER PLAN & PROFILE
 FOR
 THE RIDGE at WINTER PARK
 CONDOMINIUM**
 LOCATED IN GRAND COUNTY, COLORADO



LEGEND

- PROPERTY BOUNDARY
- EDGE OF NEW PAVEMENT
- PROPOSED GAS LINE (CONCEPTUAL)
- PROPOSED U/G ELECTRIC (CONCEPTUAL)
- PROPOSED ELECTRICAL BOX
- PROPOSED MAIN WATER LINE
- PROPOSED MAIN SEWER LINE
- PROPOSED CULVERT
- PROPOSED WATER SERVICE W/CURB STOP
- PROPOSED SEWER SERVICE W/CLEAN OUT
- EXISTING WATER MAIN
- EXISTING SEWER MAIN



NOTE:
FINAL GAS AND ELECTRIC UTILITY LAYOUT
AND DESIGN TO BE COMPLETED BY EACH
UTILITY COMPANY.
CONTRACTOR SHALL UTILIZE FINAL PLANS
FROM EACH UTILITY COMPANY FOR
UTILITY INSTALLATION.

CASCADE ENGINEERING & DRAINAGE, INC.

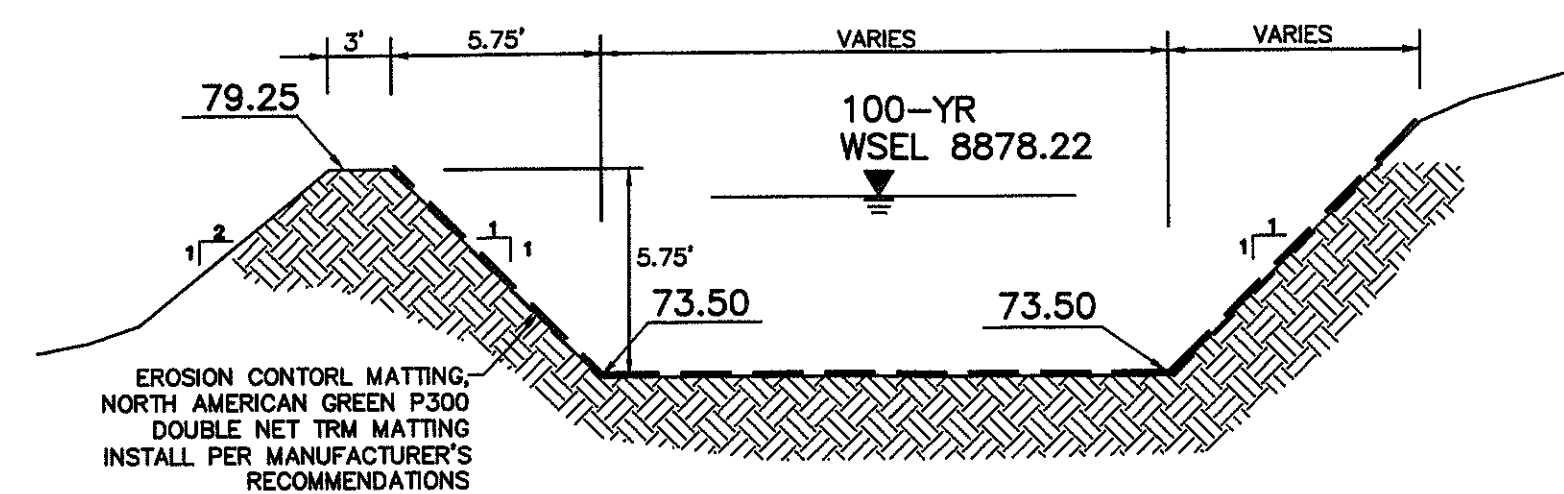
at WINTER PARK STATION
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					DESIGN BY:	RAL
					DRAWN BY:	DSS/RAL
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NO.	DATE				APPR.	

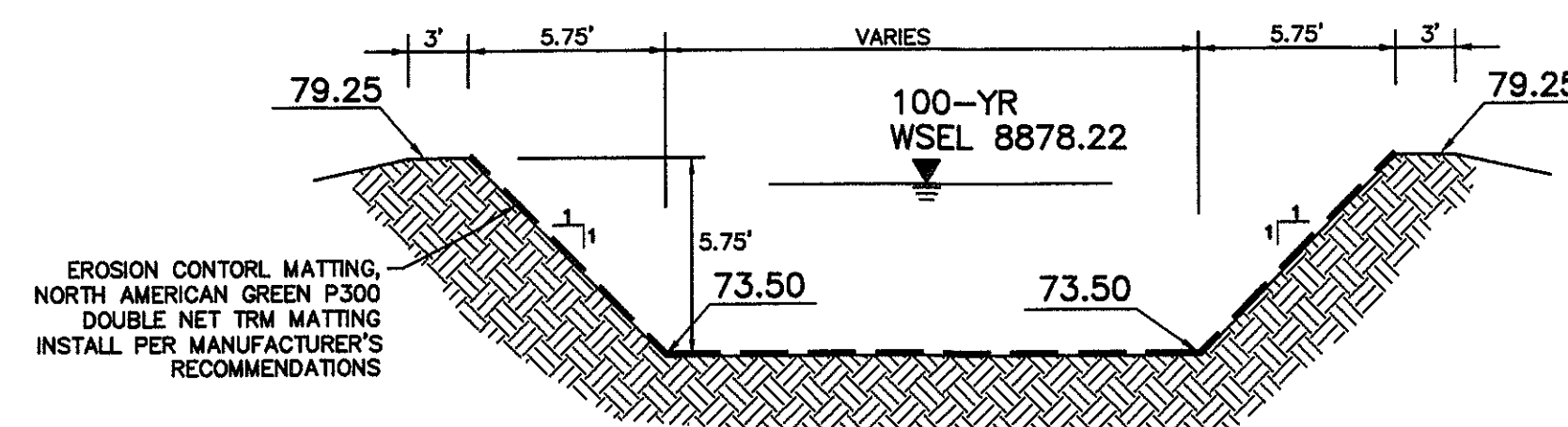
MASTER UTILITY PLAN FOR THE RIDGE at WINTER PARK CONDOMINIUM

LOCATED IN GRAND COUNTY, COLORADO

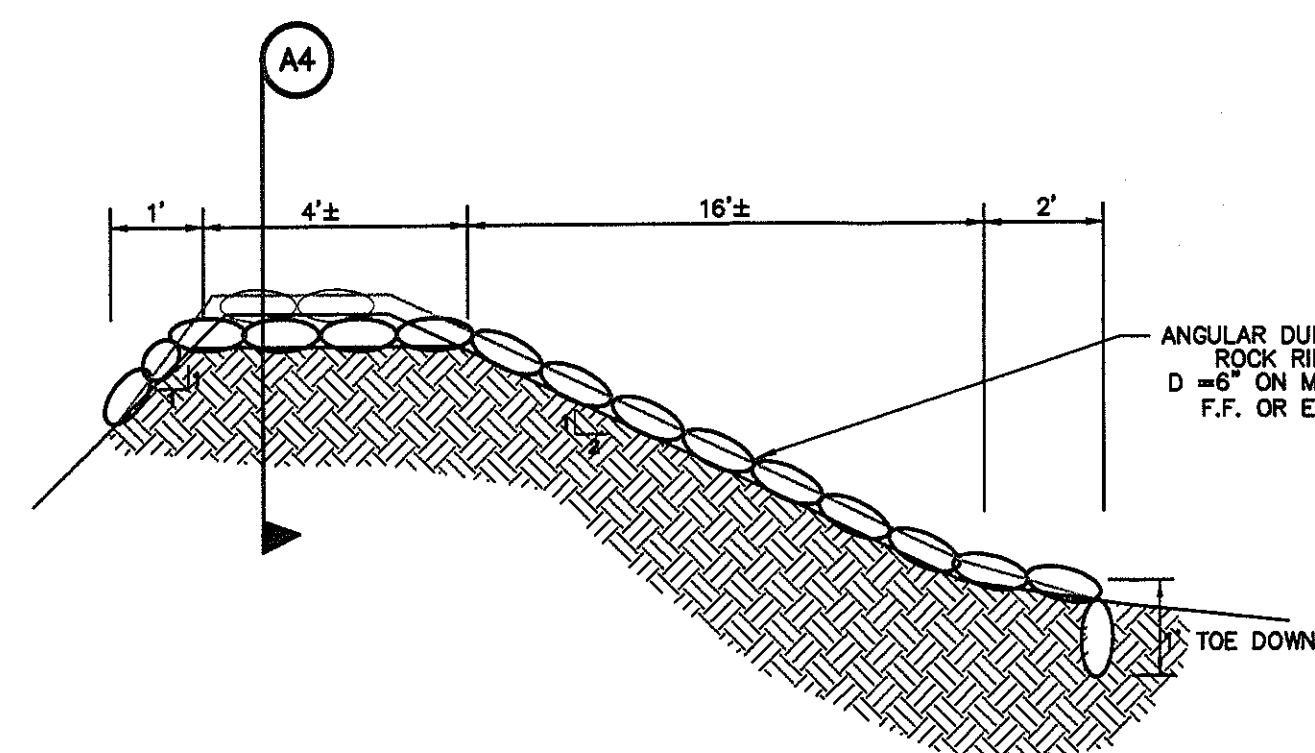
SHEET NO.
17 of 22



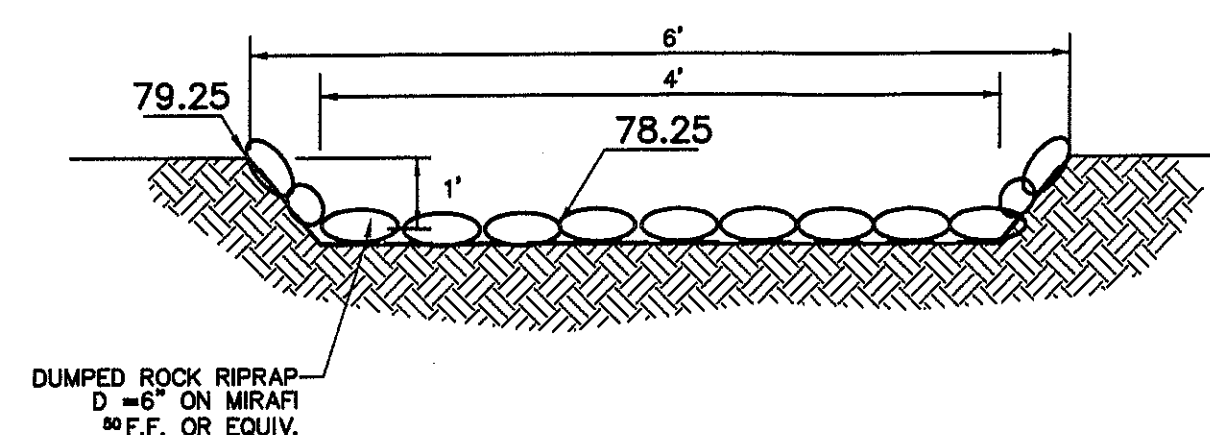
A1 BASIN A CROSS SECTION
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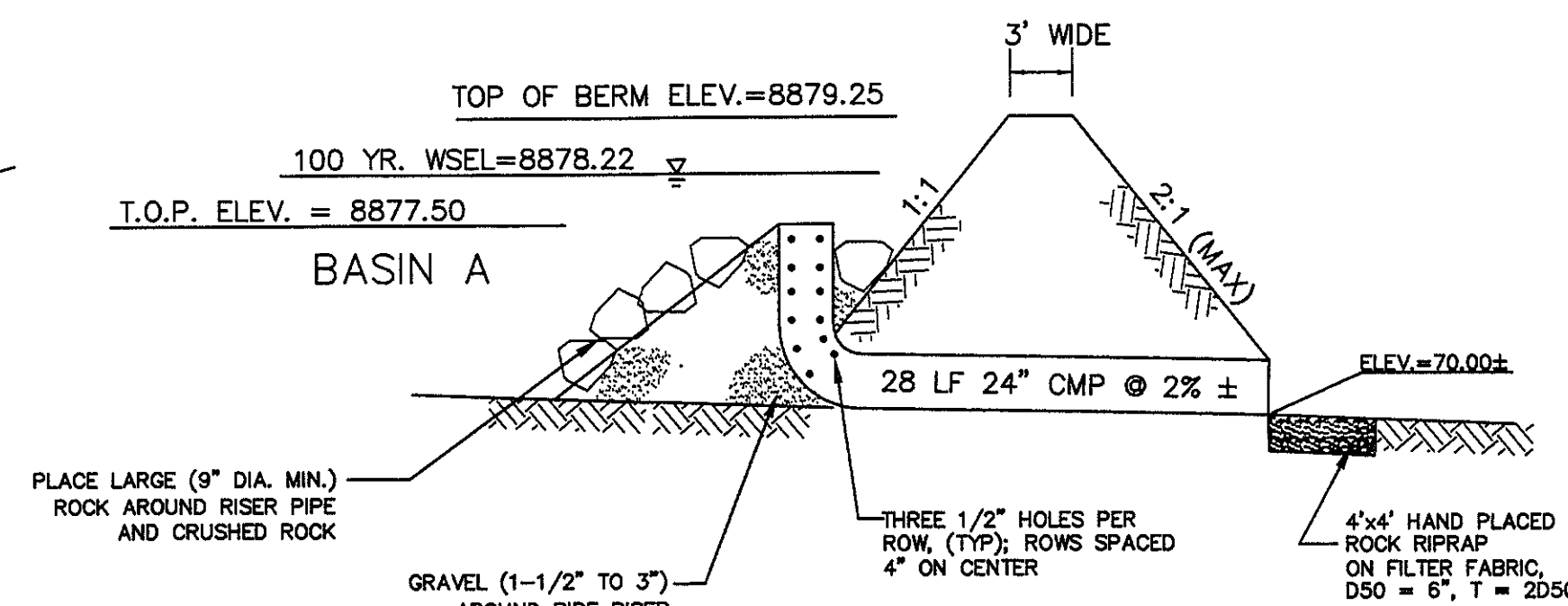
A2 BASIN A CROSS SECTION
NTS



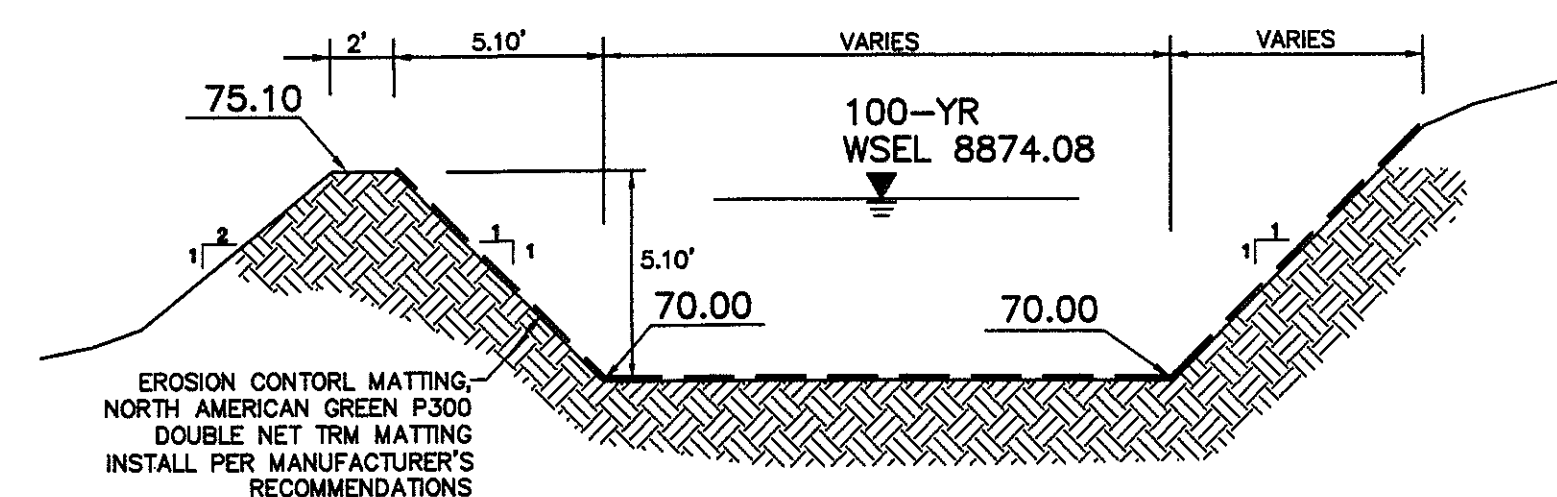
A3 SPILLWAY CROSS SECTION
BASIN A NTS



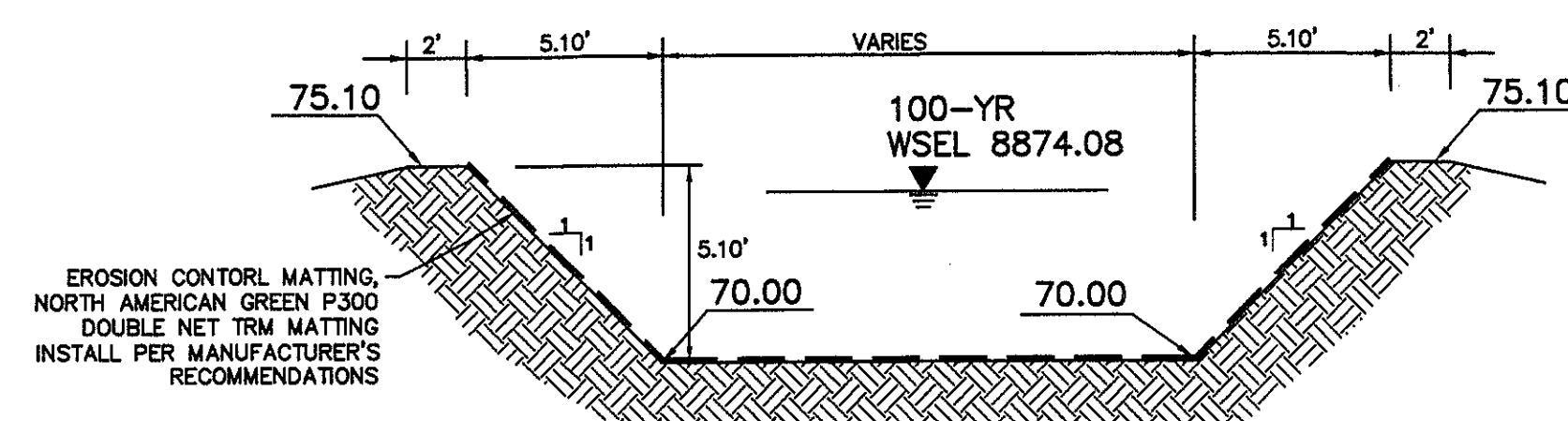
A4 WEIR CROSS SECTION
BASIN A NTS



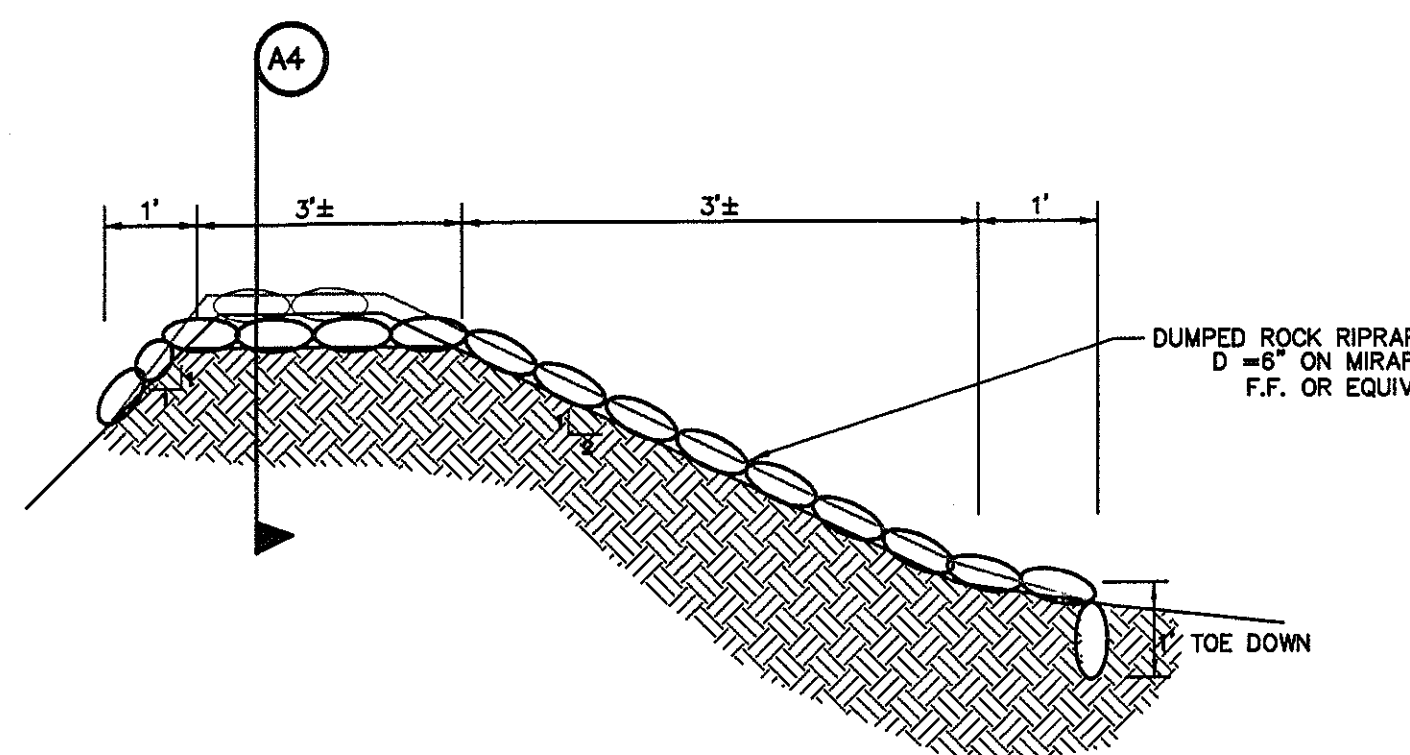
A5 BASIN A OUTLET STRUCTURE
NTS



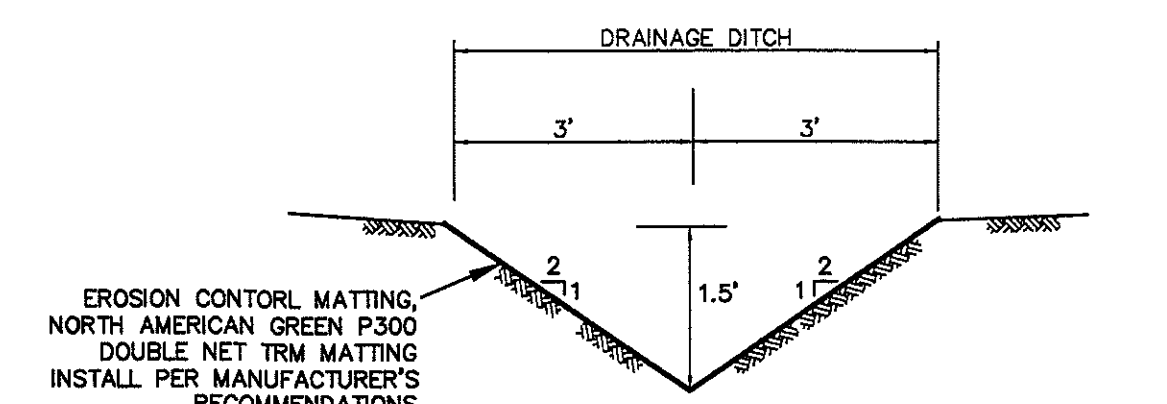
B1 BASIN B CROSS SECTION
NTS



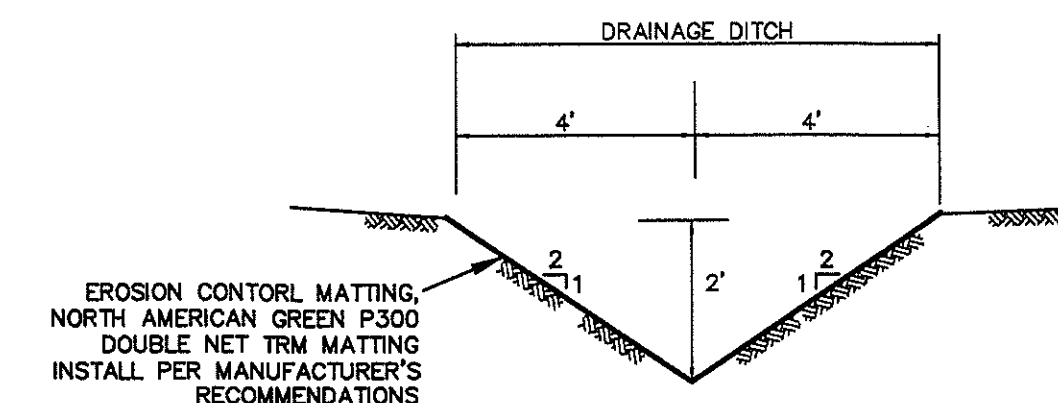
B2 BASIN B CROSS SECTION
NTS



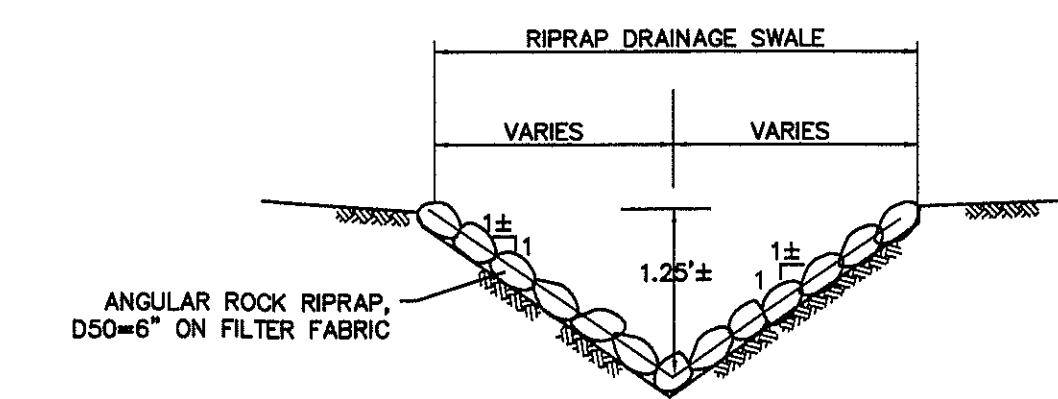
B3 SPILLWAY CROSS SECTION
BASIN B NTS



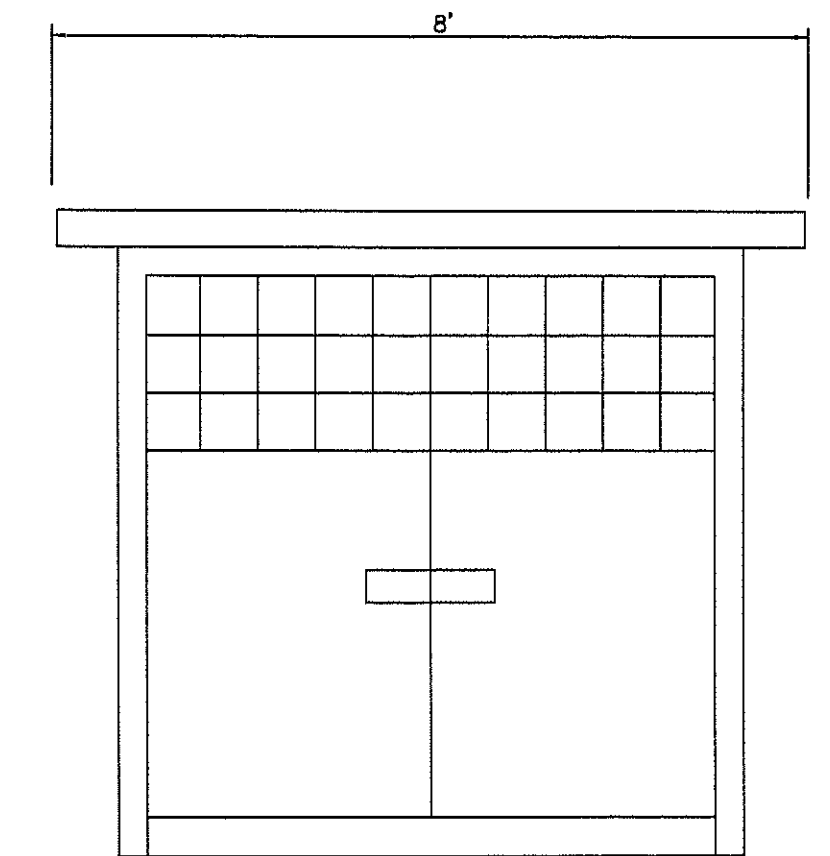
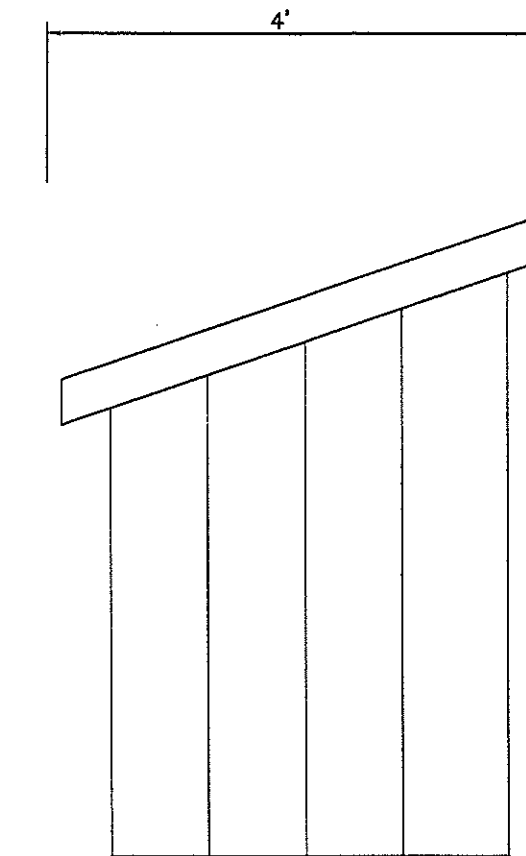
X-X V-NOTCH DRAINAGE DITCH
NTS



Y-Y V-NOTCH DRAINAGE DITCH
NTS

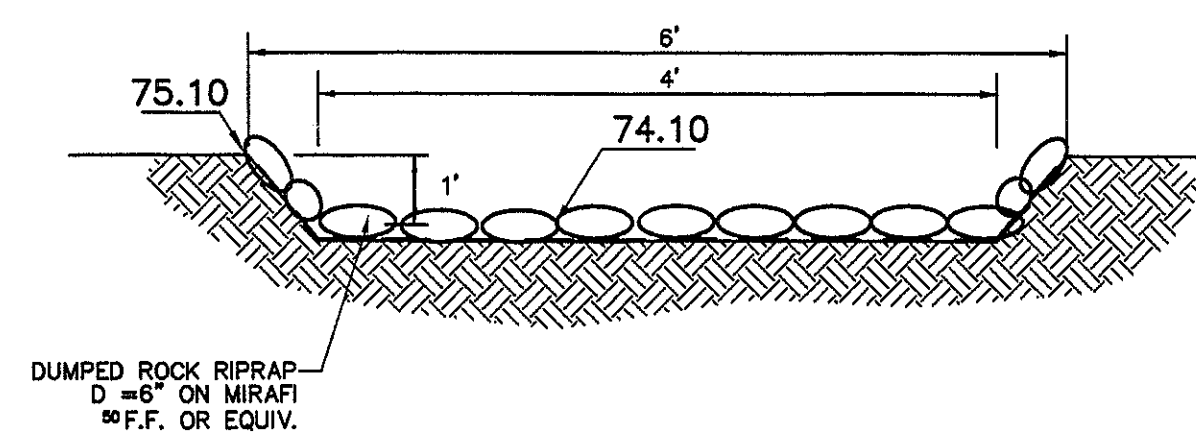


RR RIPRAP DRAINAGE SWALE
NTS

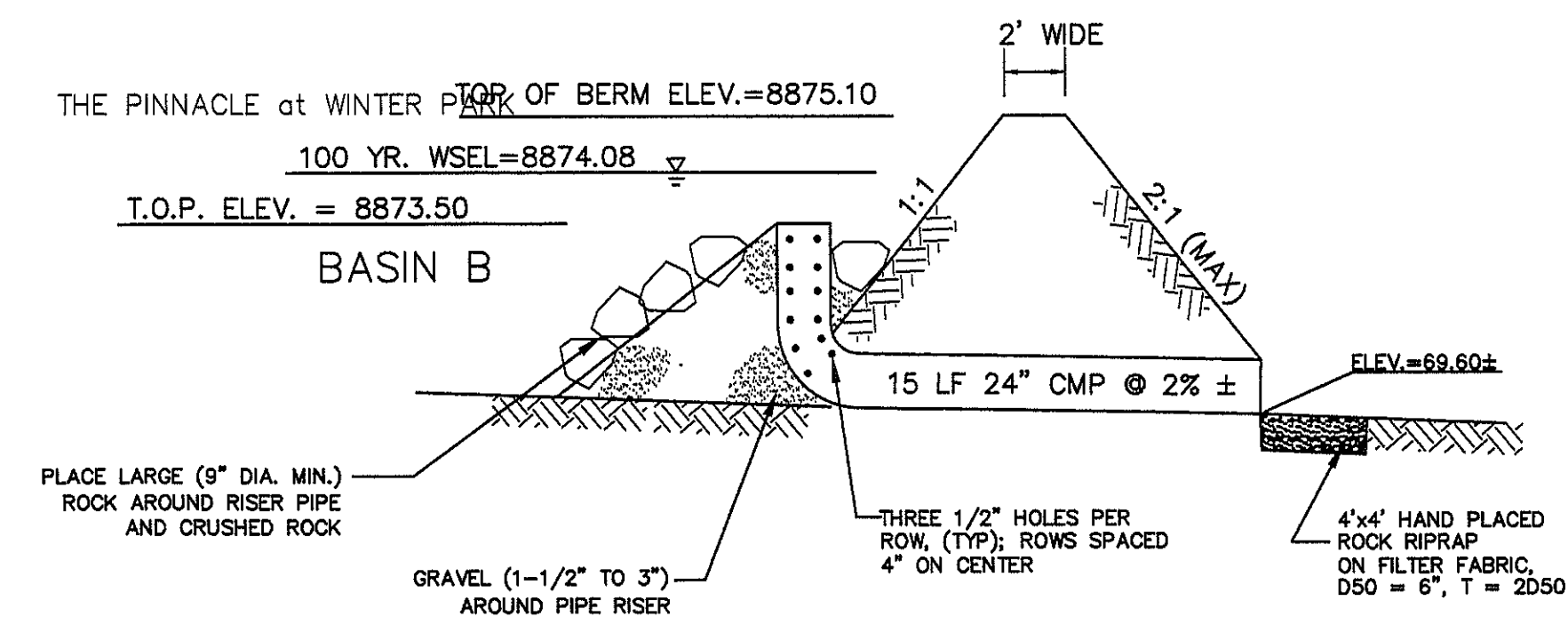


PRELIMINARY DUMPSTER DESIGN
NTS

- NOTE:
1. FINAL DESIGN BY ARCHITECT AT TIME OF CLUB HOUSE PLAN SUBMITTAL
 2. DUMPSTER SHALL BE BEAR PROOF



B4 WEIR CROSS SECTION
BASIN B NTS



B5 BASIN B OUTLET STRUCTURE
NTS

**CASCADE ENGINEERING
& DRAINAGE, INC.**

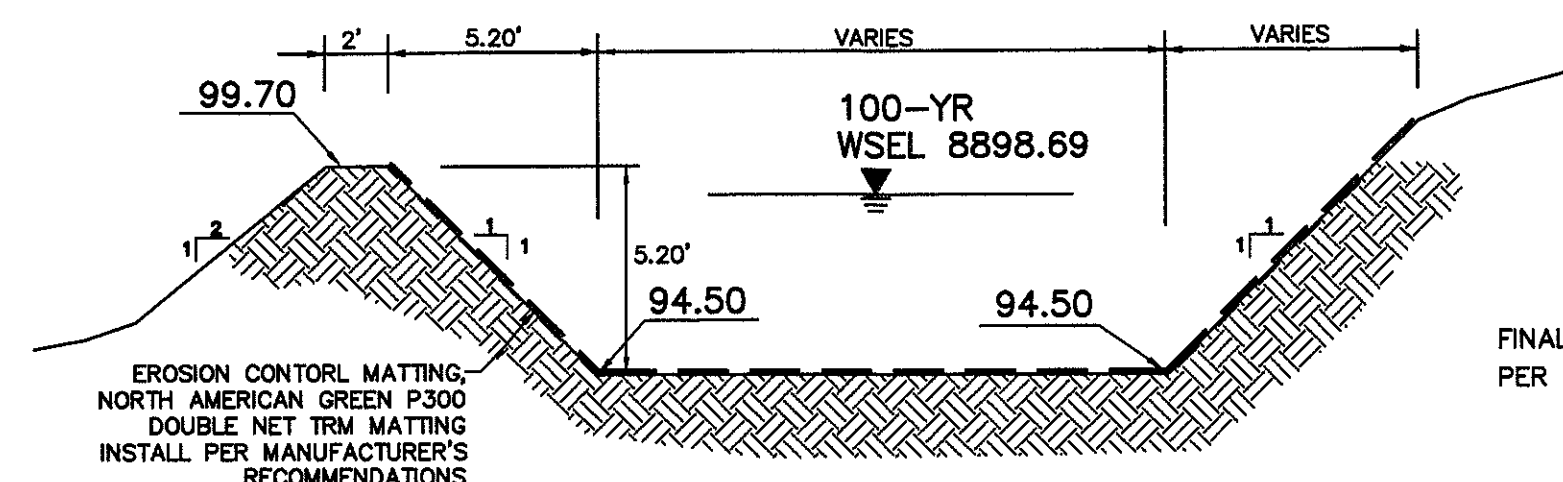
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

					DESIGN BY: RAL
					DRAWN BY: DSS/RAL
					CHECK'D BY (Design): RAL
					DATE: 8/9/2007
					SCALE: HORIZONTAL 1" = 40' VERTICAL N / A
	NO.	DATE			APPR.

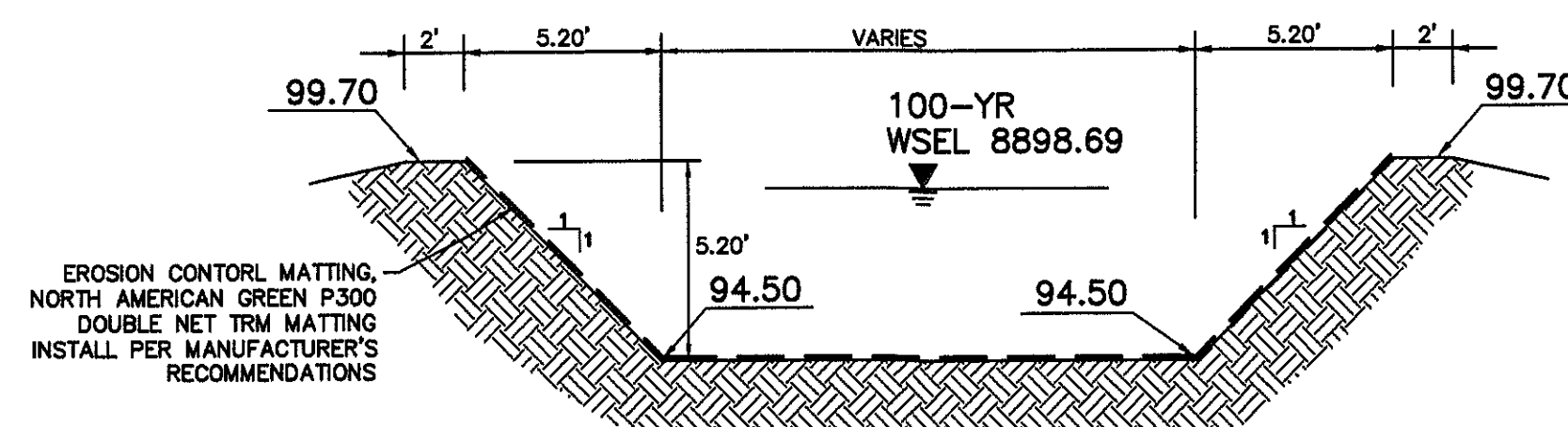
**DETAILS FOR GRADING PLAN
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM**

LOCATED IN GRAND COUNTY, COLORADO

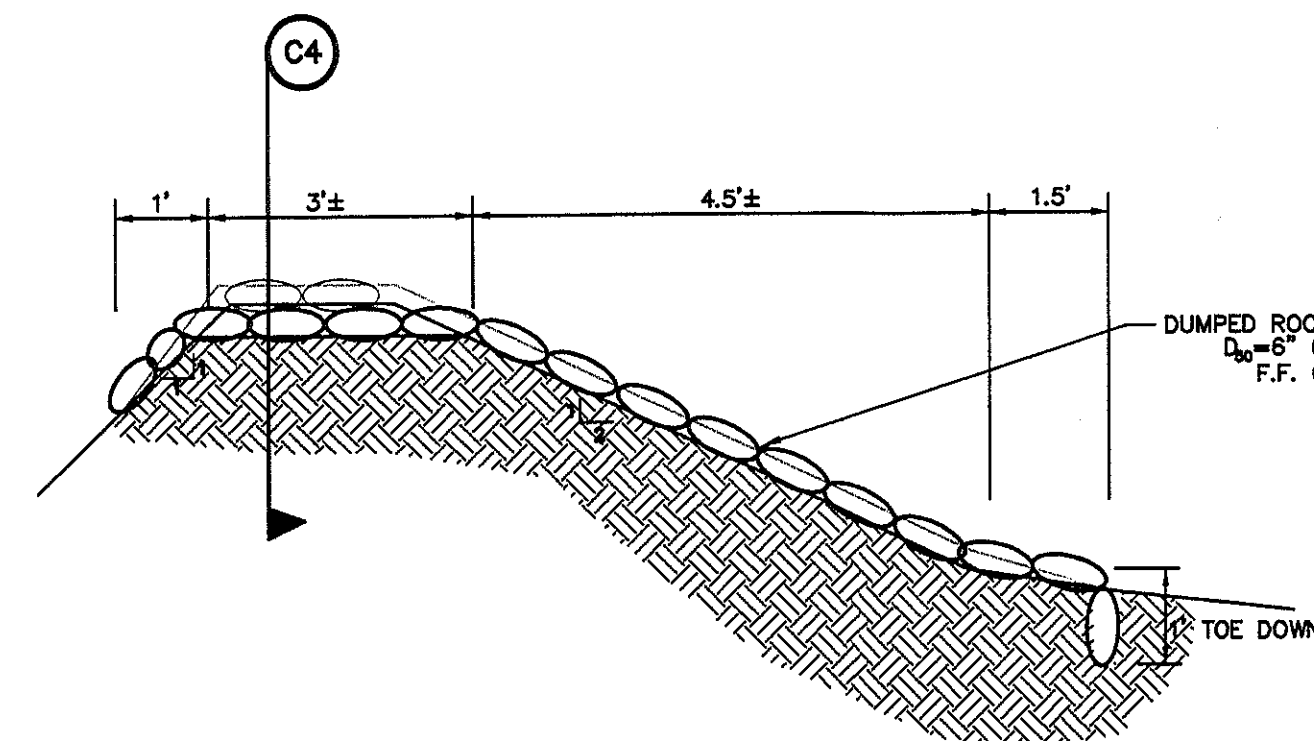
SHEET NO.
18 OF 22



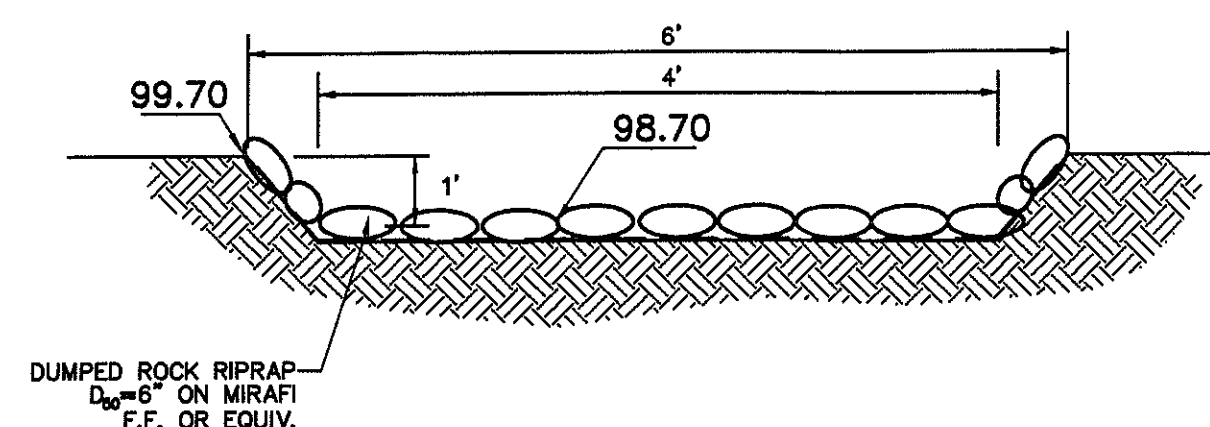
C1 BASIN C CROSS SECTION
NTS



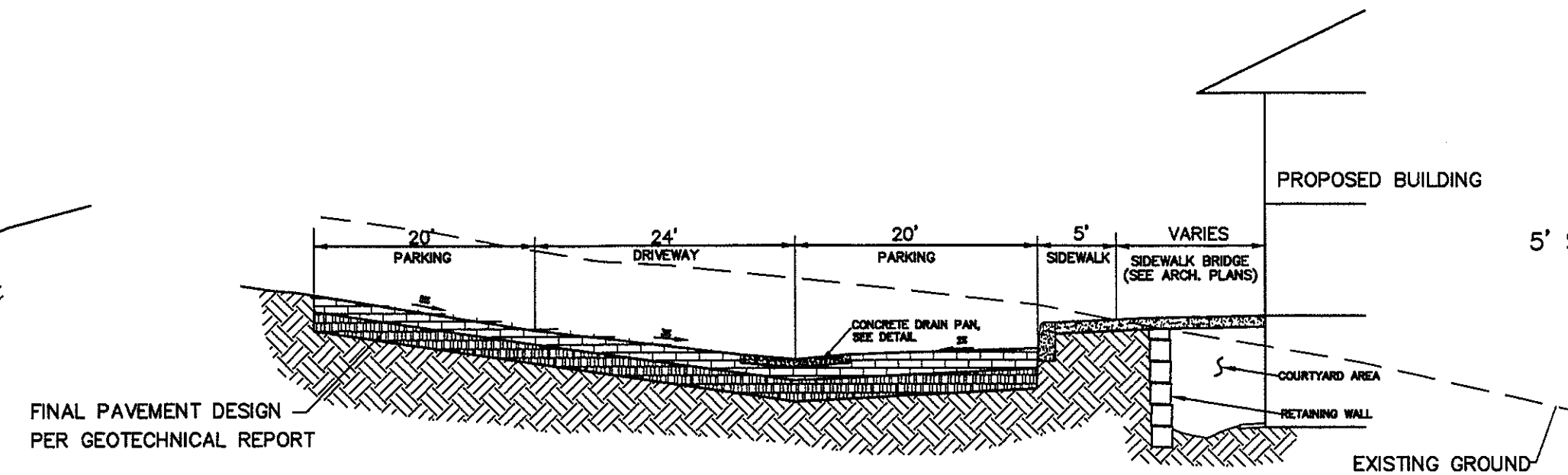
C2 BASIN C CROSS SECTION
NTS



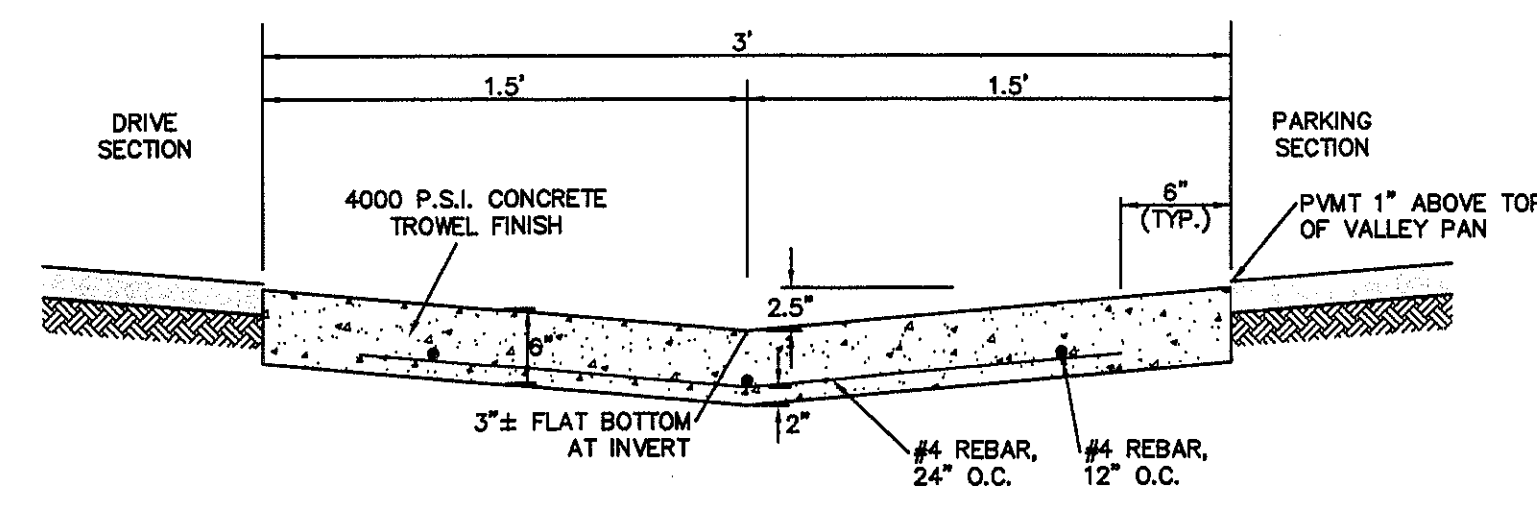
C3 SPILLWAY CROSS SECTION
BASIN C NTS



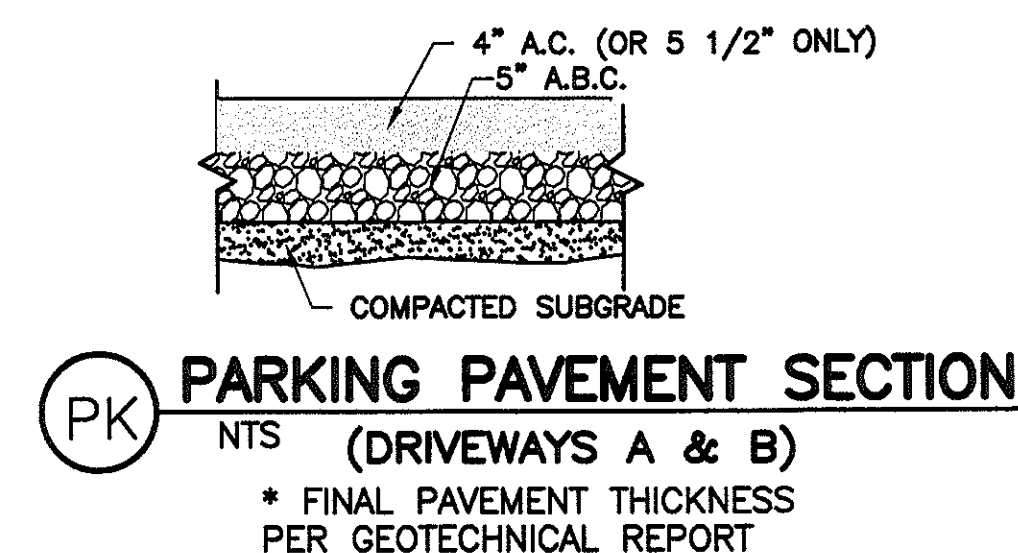
C4 WEIR CROSS SECTION
BASIN C NTS



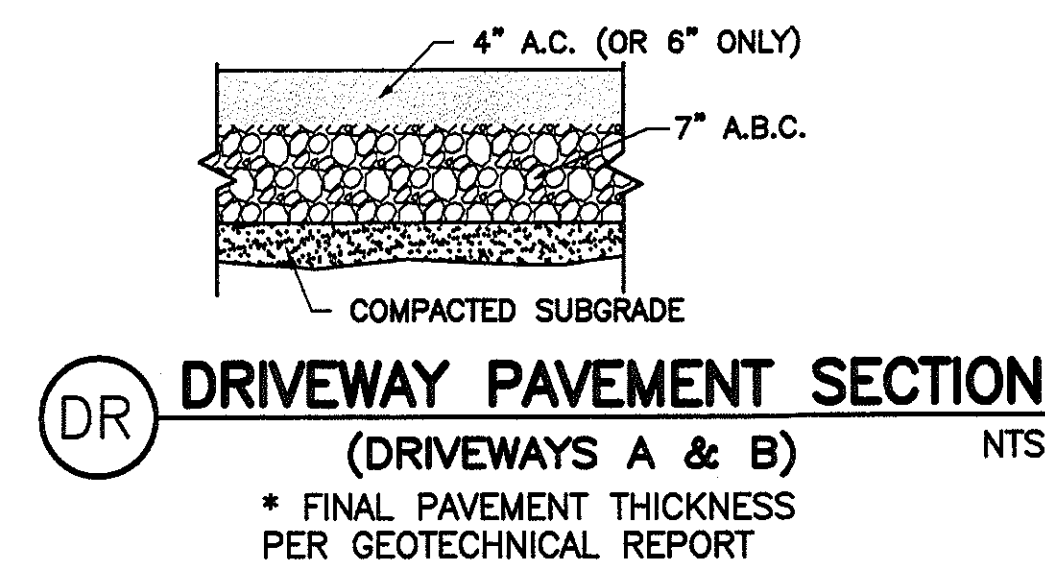
J-J PARKING LOT SECTION
NTS



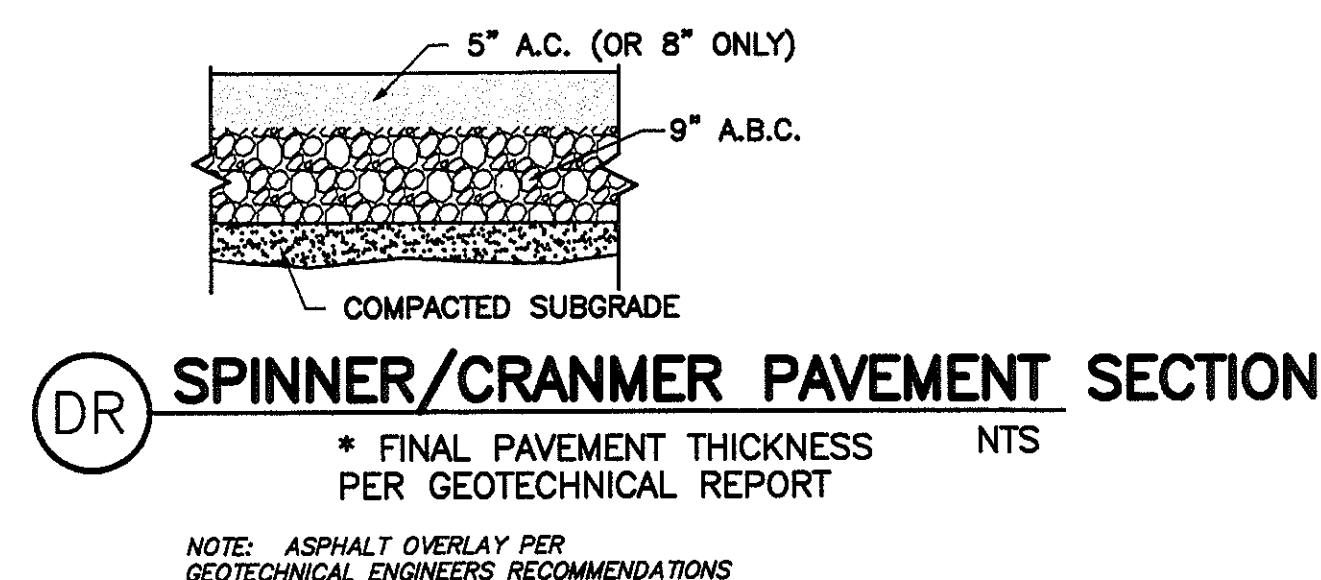
V1 VALLEY PAN DETAIL
NTS



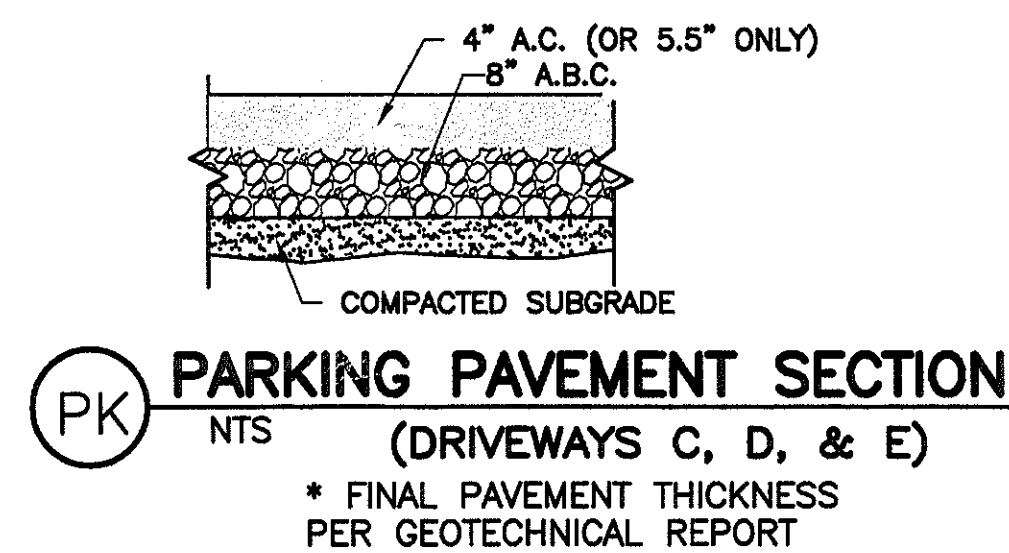
PK PARKING PAVEMENT SECTION
NTS (DRIVEWAYS A & B)
* FINAL PAVEMENT THICKNESS PER GEOTECHNICAL REPORT



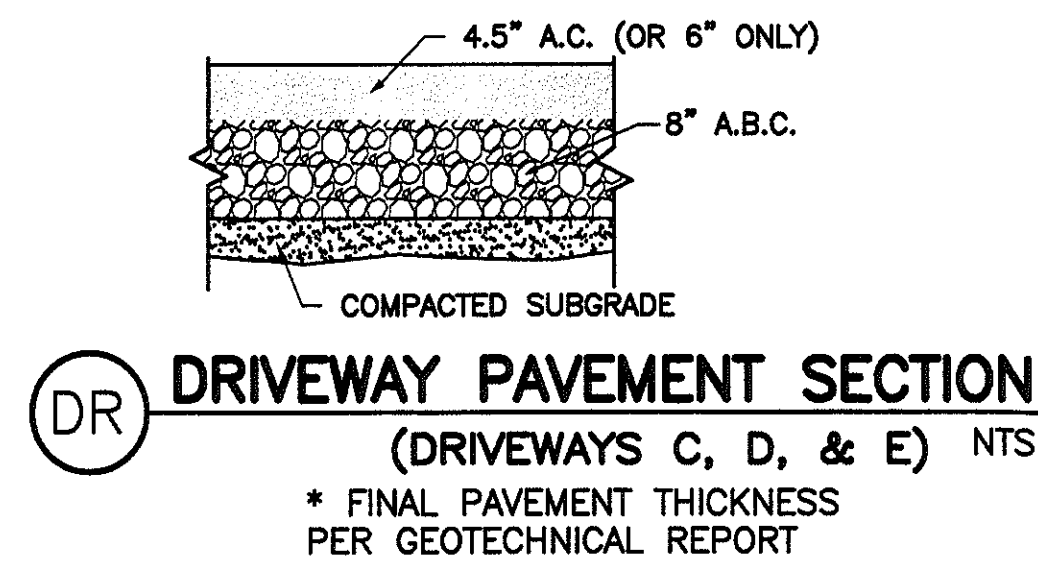
DR DRIVEWAY PAVEMENT SECTION
(DRIVEWAYS A & B) NTS
* FINAL PAVEMENT THICKNESS PER GEOTECHNICAL REPORT



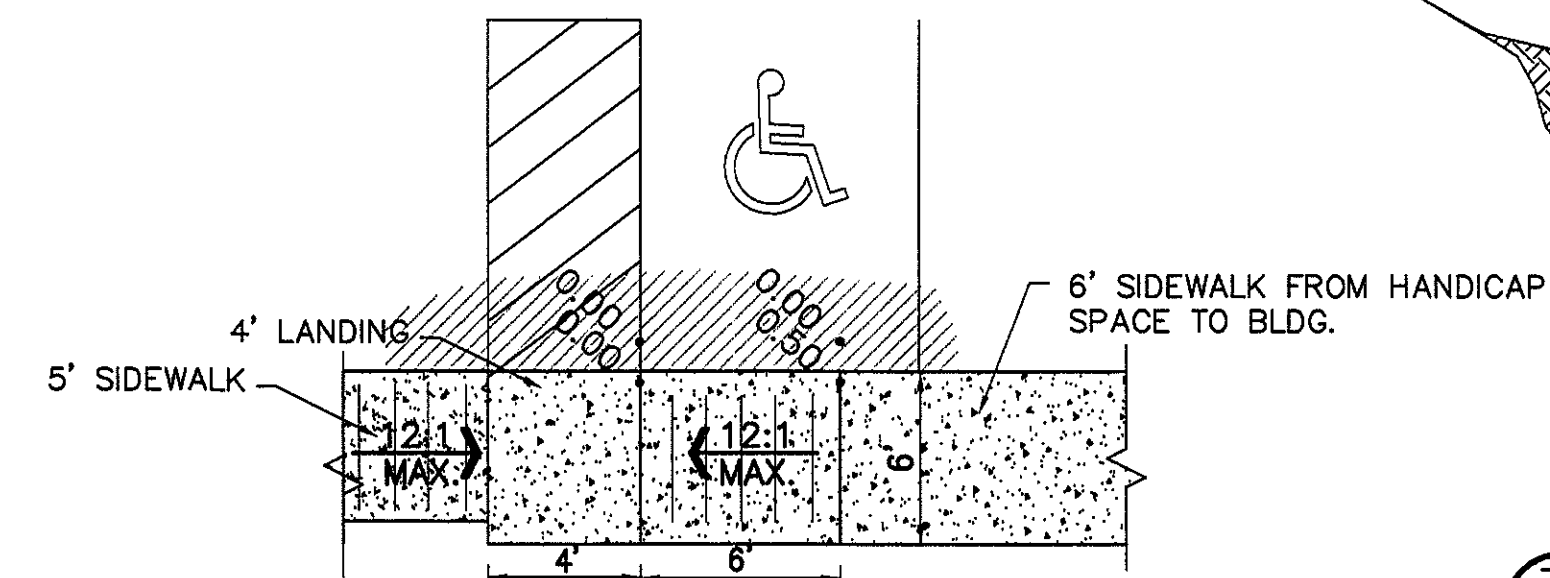
DR SPINNER/CRANMER PAVEMENT SECTION
NTS
* FINAL PAVEMENT THICKNESS PER GEOTECHNICAL REPORT
NOTE: ASPHALT OVERLAY PER GEOTECHNICAL ENGINEERS RECOMMENDATIONS



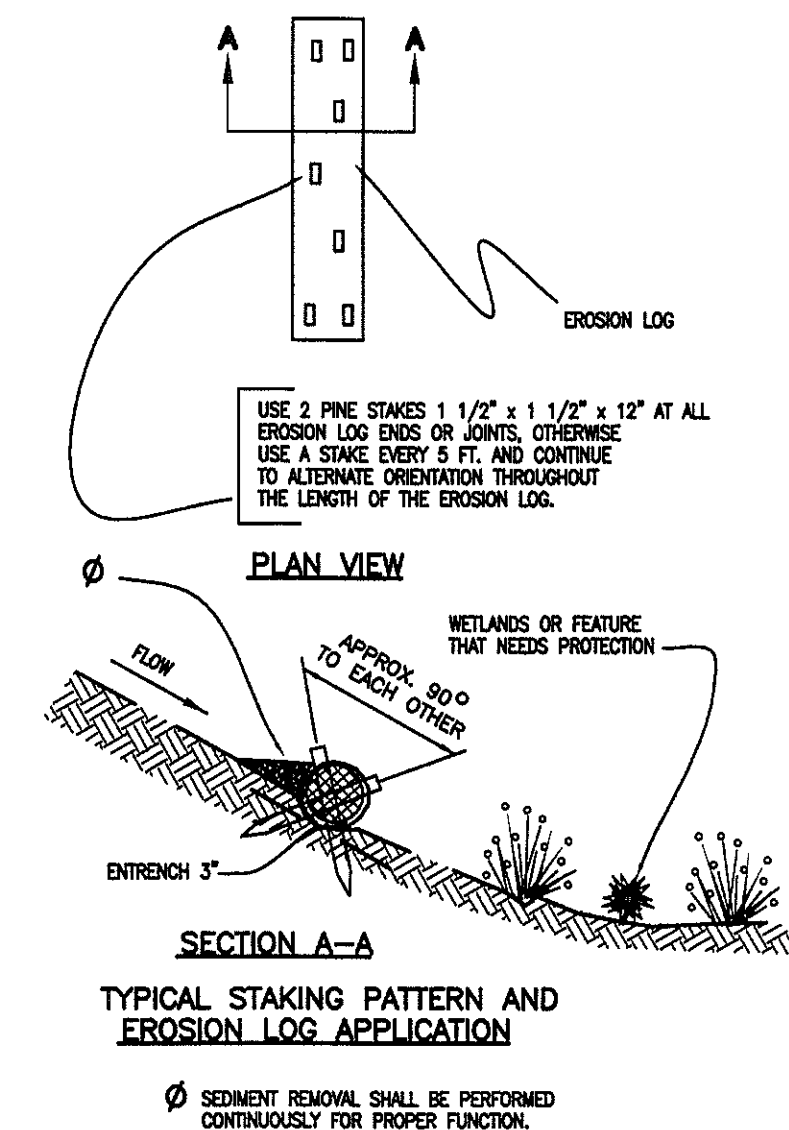
PK PARKING PAVEMENT SECTION
NTS (DRIVEWAYS C, D, & E)
* FINAL PAVEMENT THICKNESS PER GEOTECHNICAL REPORT



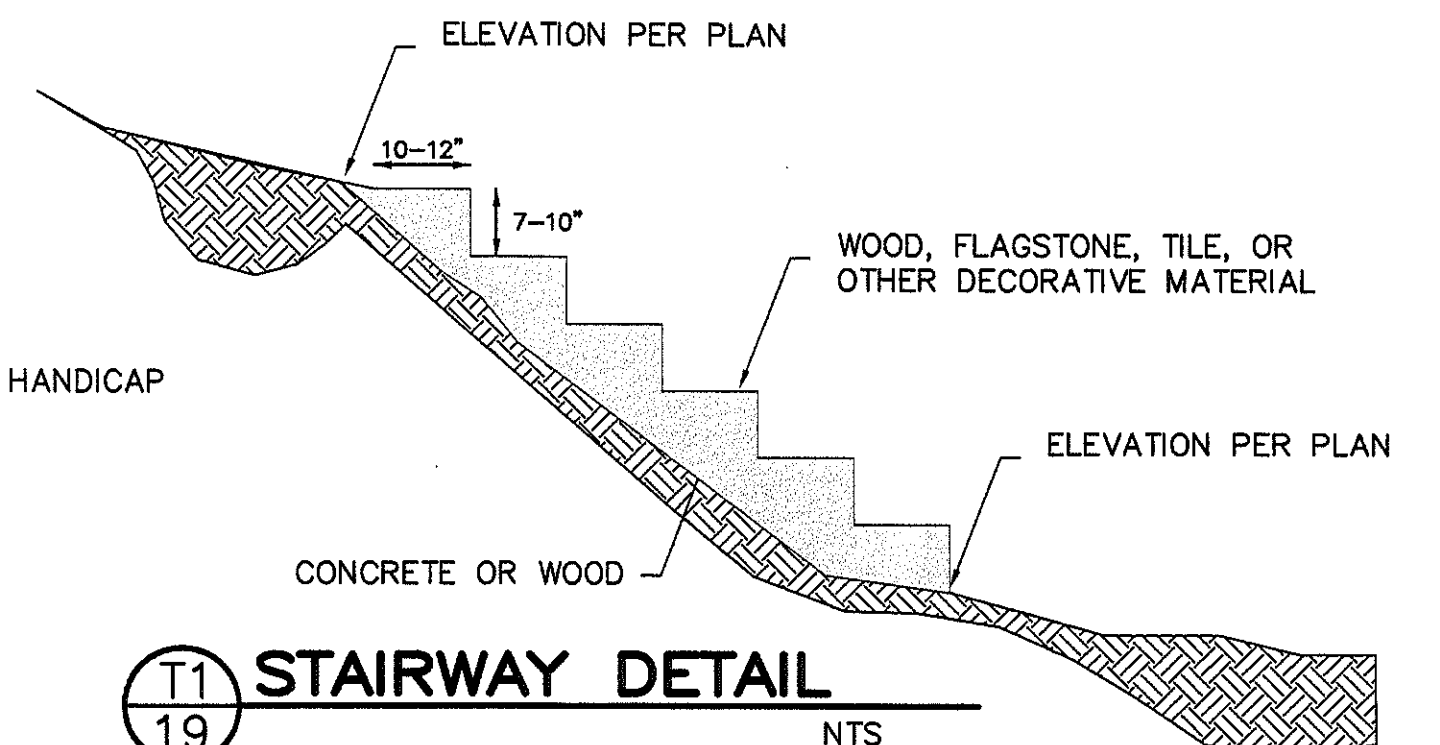
DR DRIVEWAY PAVEMENT SECTION
(DRIVEWAYS C, D, & E) NTS
* FINAL PAVEMENT THICKNESS PER GEOTECHNICAL REPORT



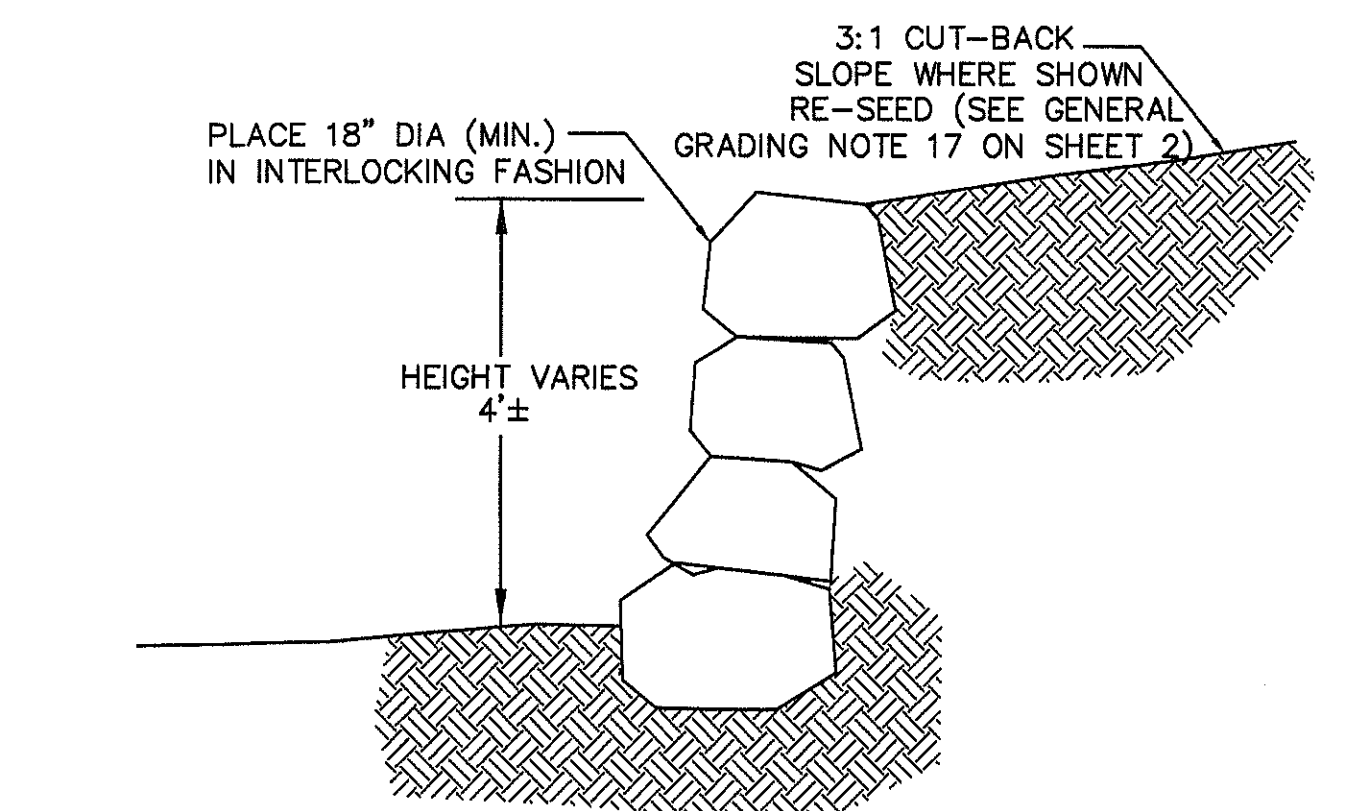
H1 CURB ACCESS RAMP
NTS
NOTE: SEE PLAN FOR GRADES AT EACH HANDICAP RAMP.



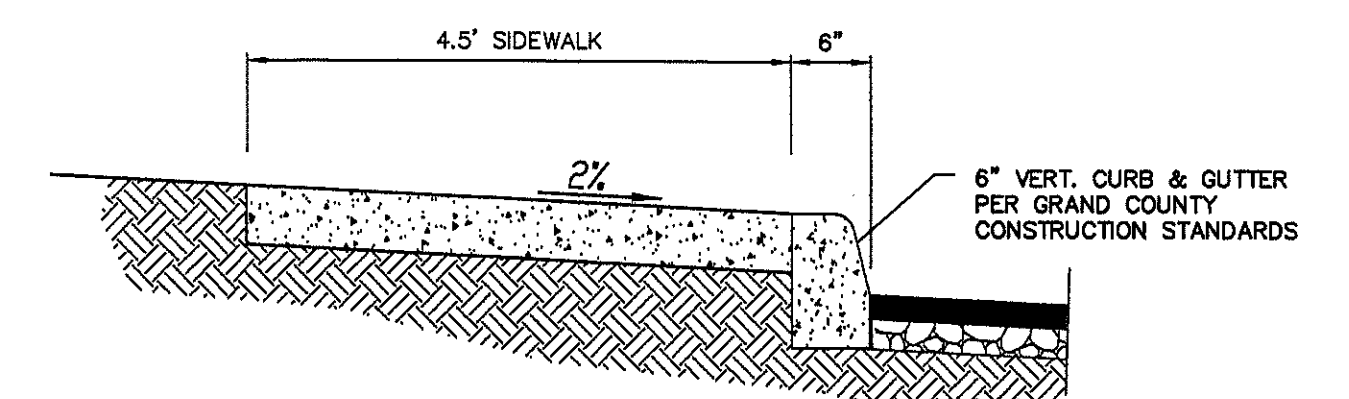
L1 EROSION CONTROL LOG DETAIL
NTS



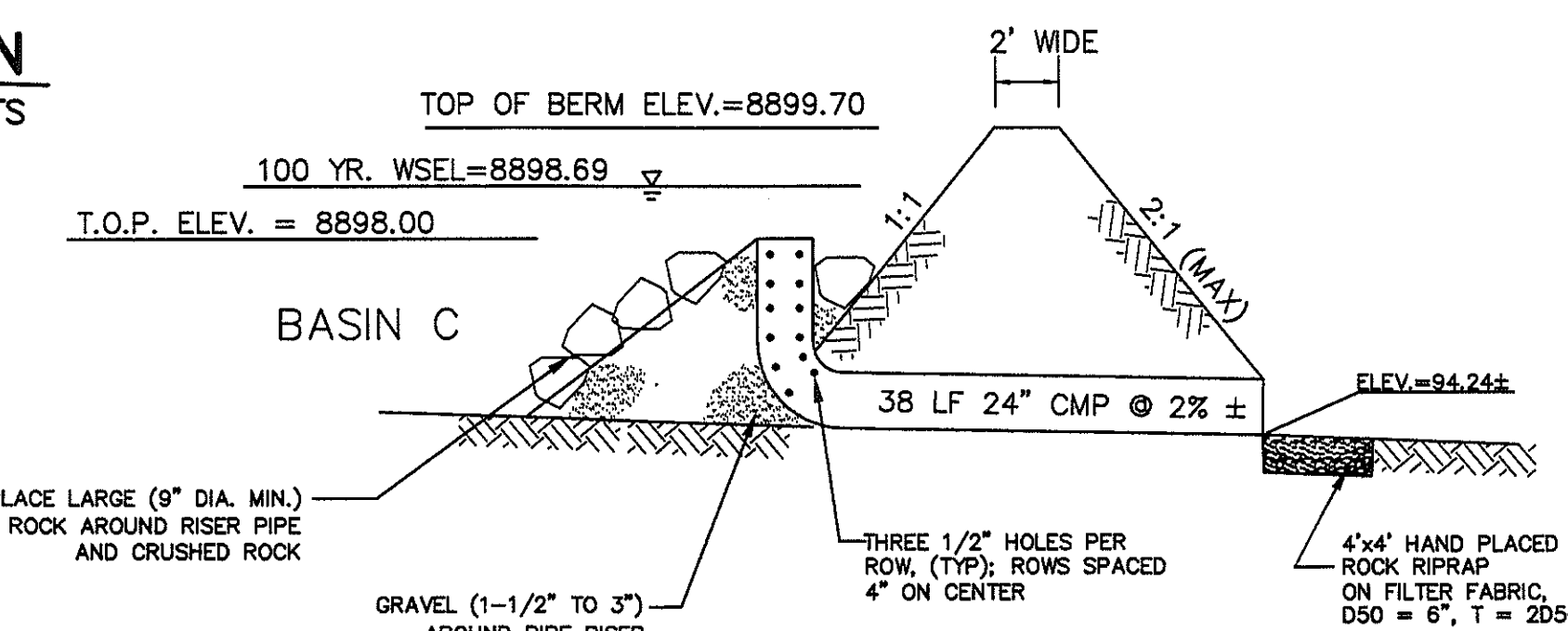
T1 STAIRWAY DETAIL
NTS
NOTE:
1. FINAL STAIRWAY DESIGN AND MATERIAL TO BE PROVIDED WITH PHASE 1 BUILDING PLANS.
2. ADJUSTMENT OF STAIRWAY MAY BE REQUIRED IN FIELD.



R1 ROCK RETAINING WALL DETAIL
NTS
NOTE: ROCK WALL DETAIL IS SCHEMATIC ONLY. CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL INTEGRITY OF THE WALL.



S1 SIDEWALK WITH VERTICAL CURB DETAIL
NTS



C5 BASIN C OUTLET STRUCTURE
NTS

CASCADE ENGINEERING & DRAINAGE, INC.

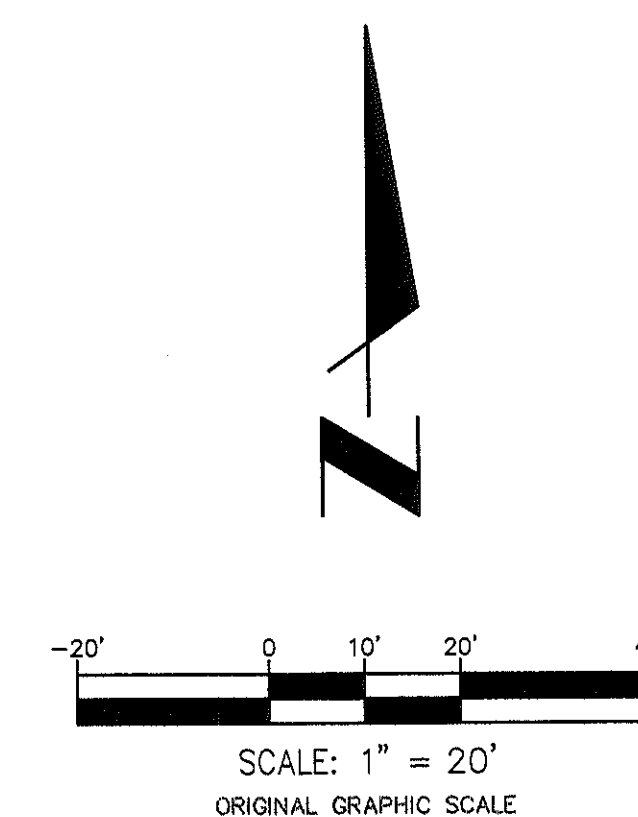
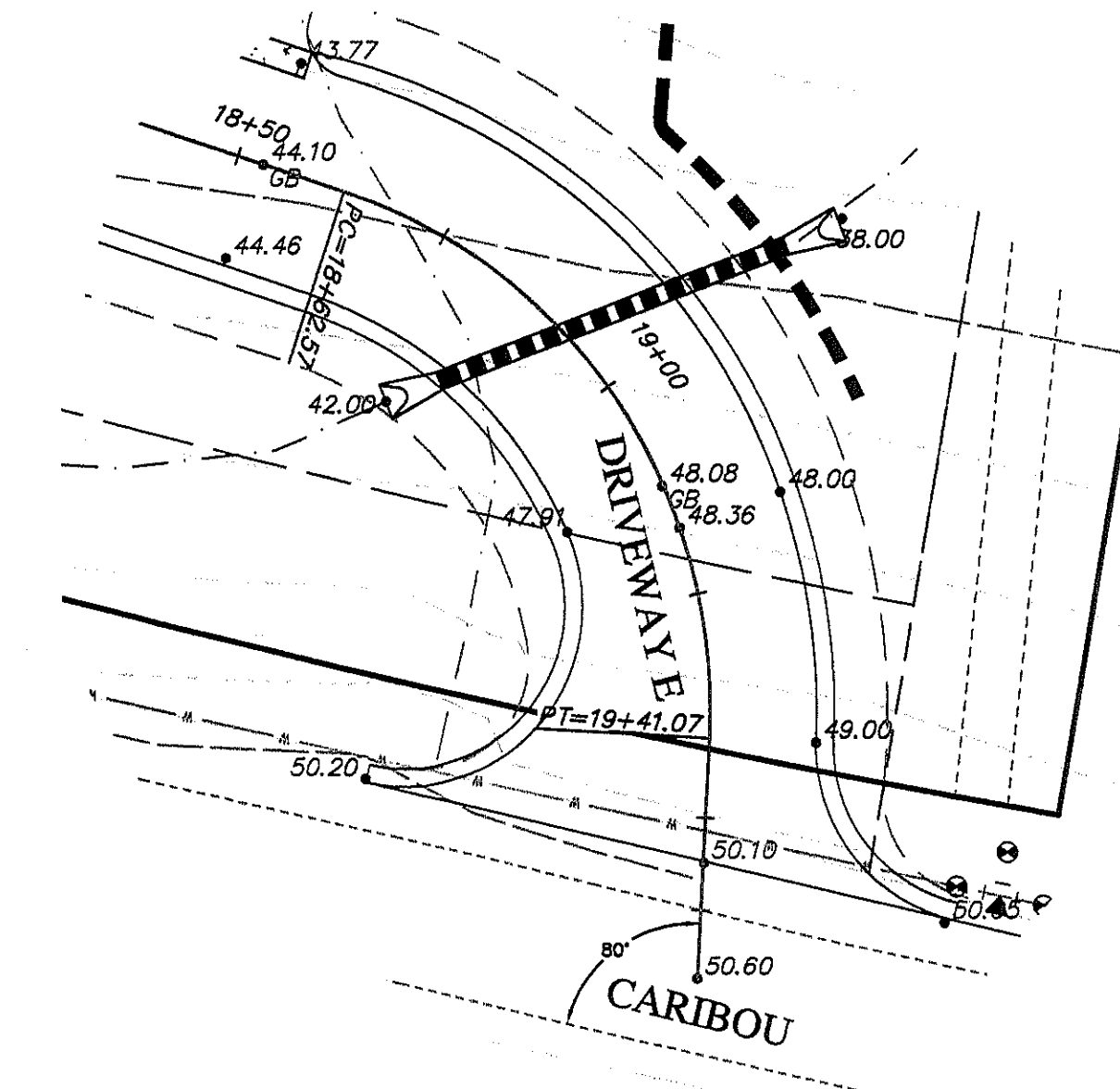
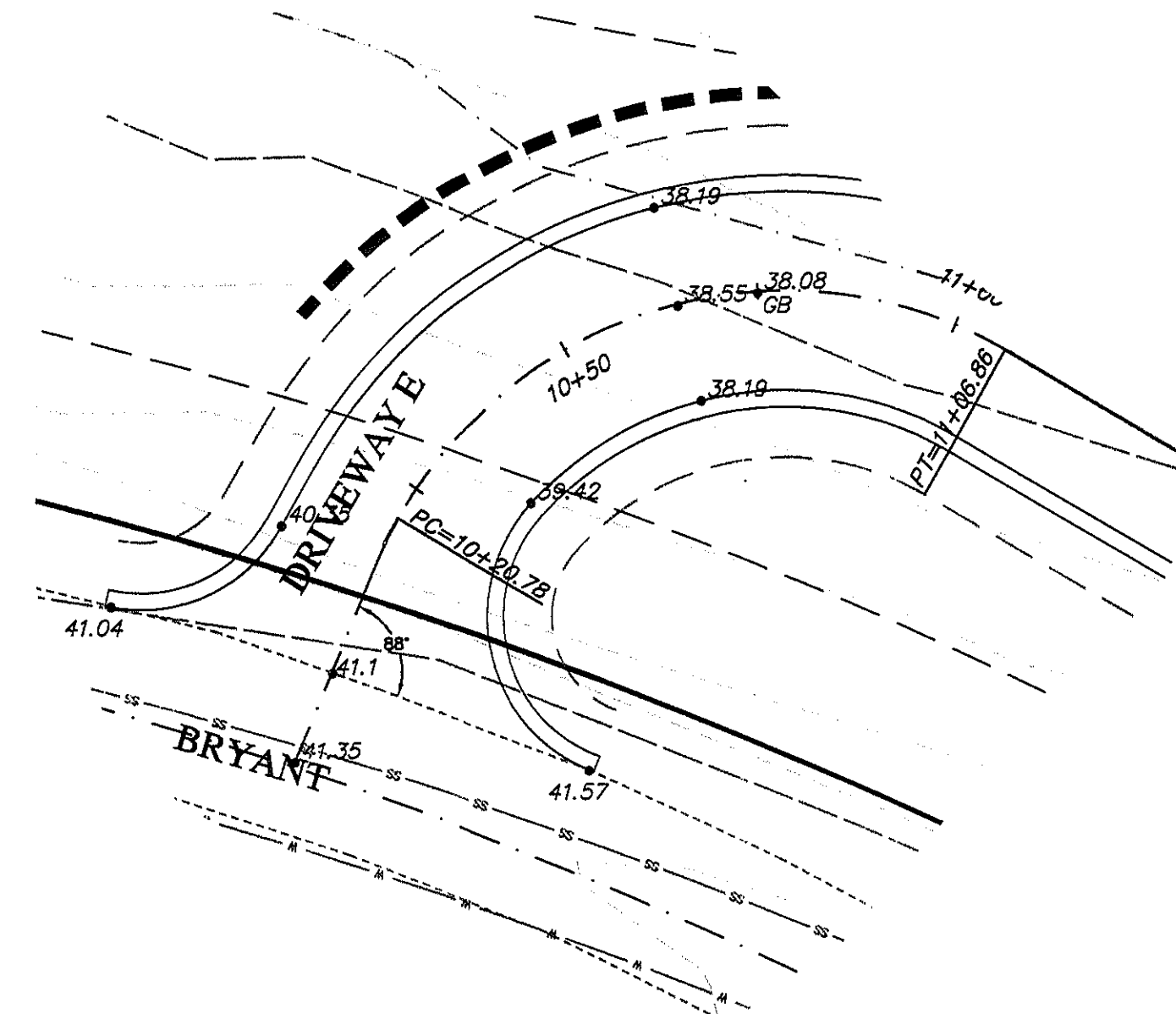
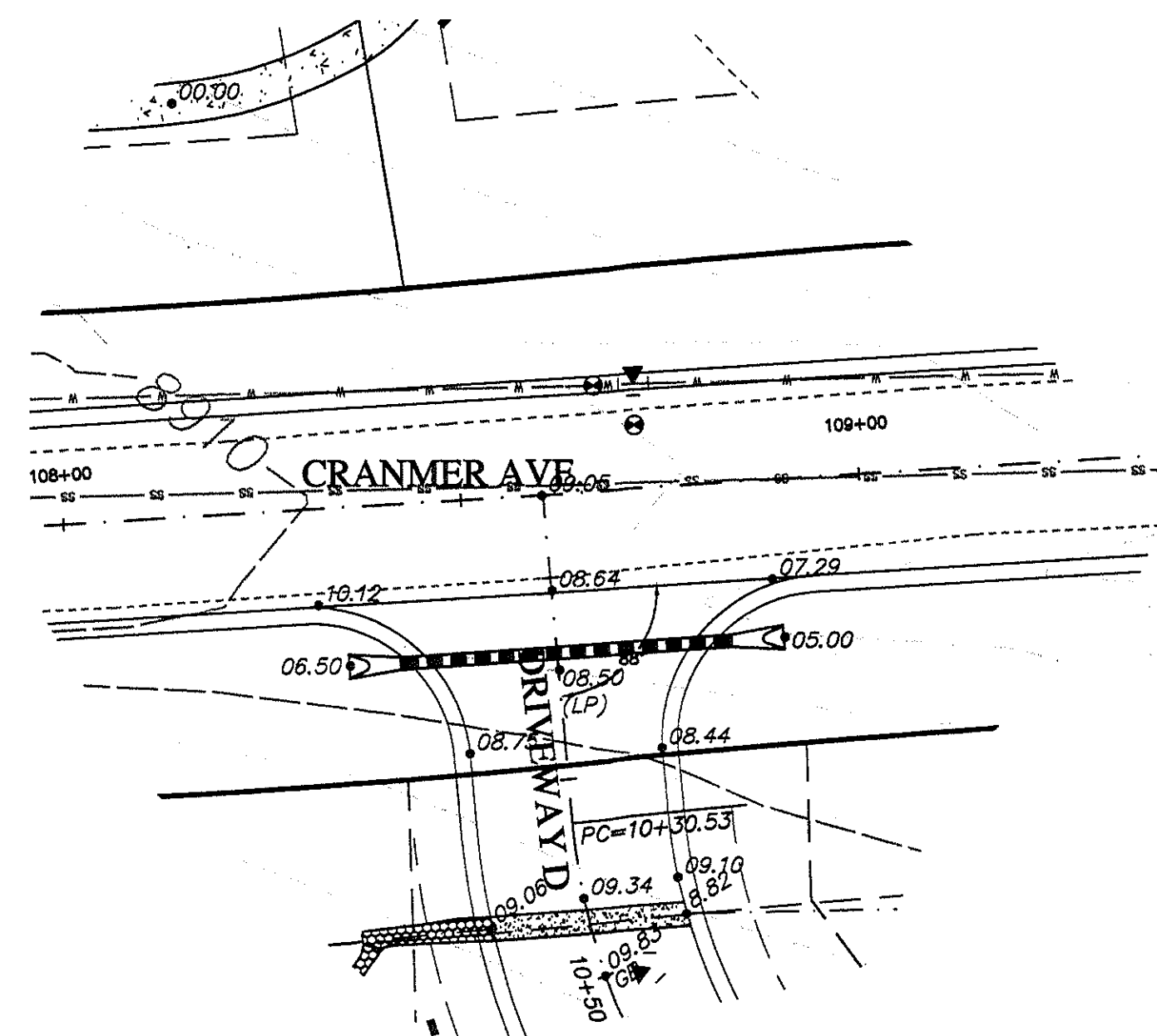
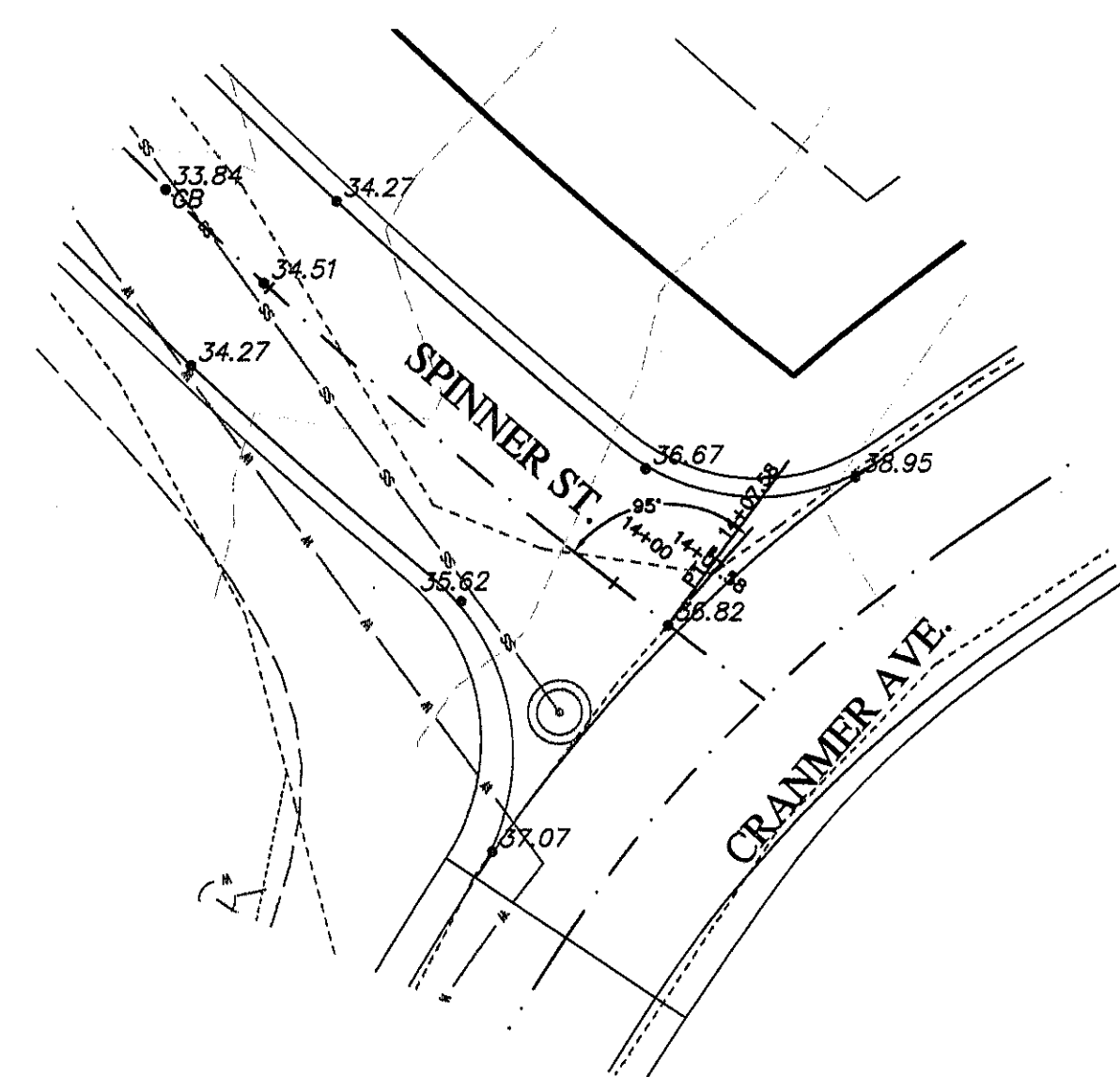
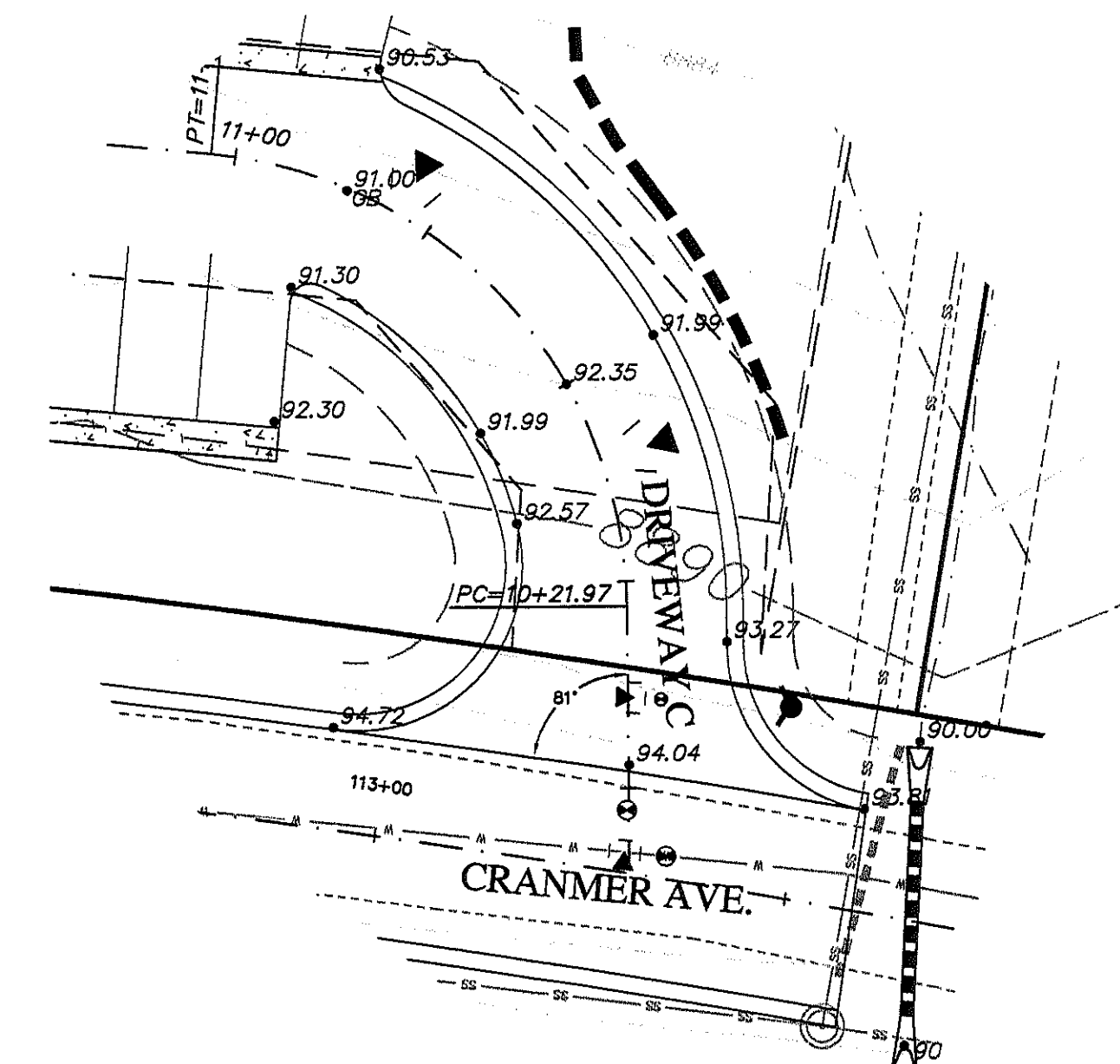
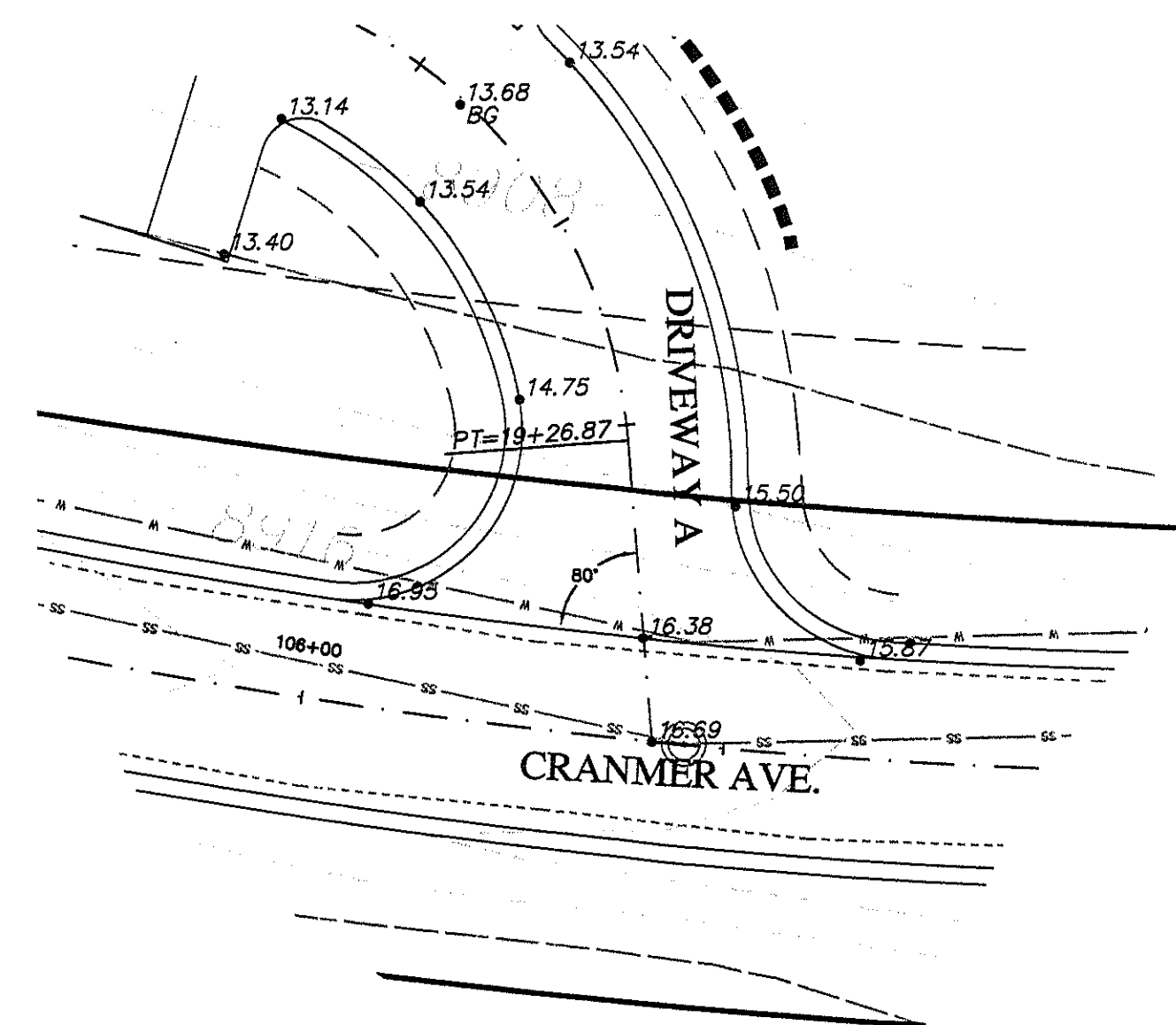
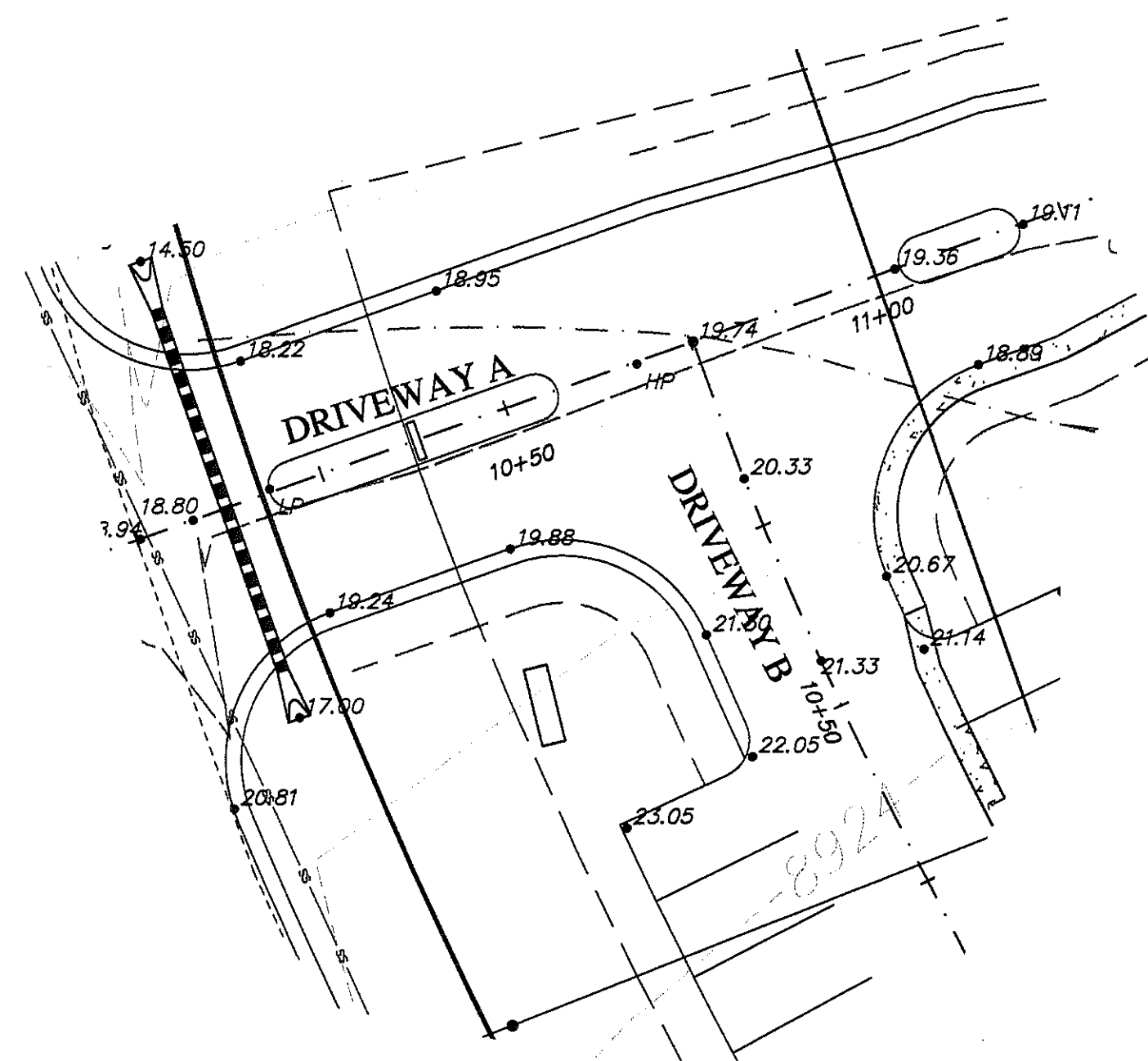
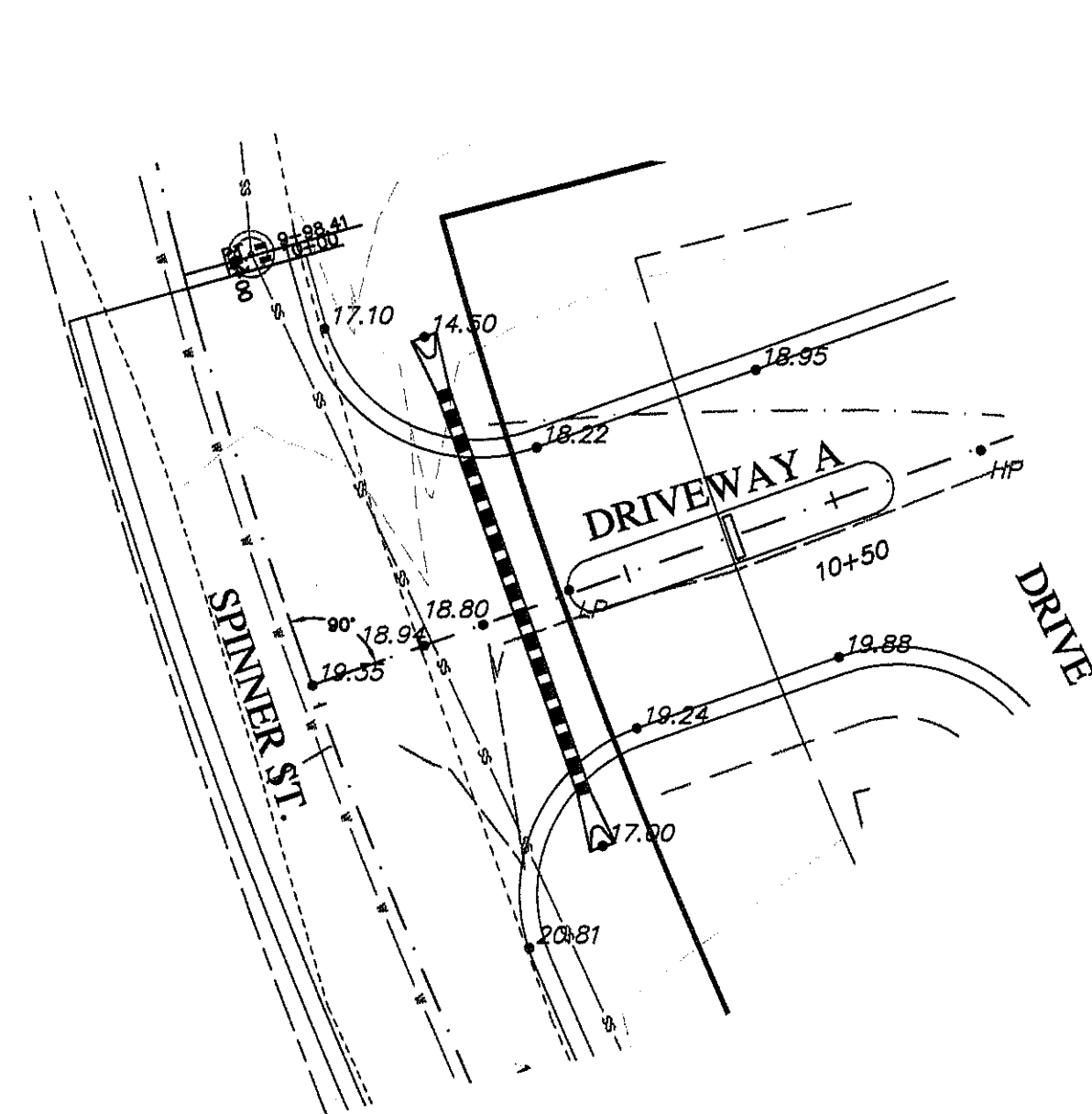
at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

						DESIGN BY:	RAL
						DRAWN BY:	DSS/RAL
						CHECKED BY (Design):	RAL
						DATE:	8/9/2007
						SCALE:	HORIZONTAL N/A VERTICAL N/A

DETAILS FOR GRADING PLAN FOR THE RIDGE at WINTER PARK CONDOMINIUM
LOCATED IN GRAND COUNTY, COLORADO



GEOCOMPOSITE DRAINAGE STRIPS (1-FOOT WIDE STRIPS AT 5-FOOT SPACINGS OR 2-FOOT WIDE STRIPS AT 10-FOOT SPACINGS) SHOULD BE PLACED UP THE REINFORCED ZONE EXCAVATION AND CONNECT HYDRAULICALLY TO THE PVC PIPE IF WATER IS PRESENT IN THE EXCAVATION DURING CONSTRUCTION.



**CASCADE ENGINEERING
& DRAINAGE, INC.**

at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

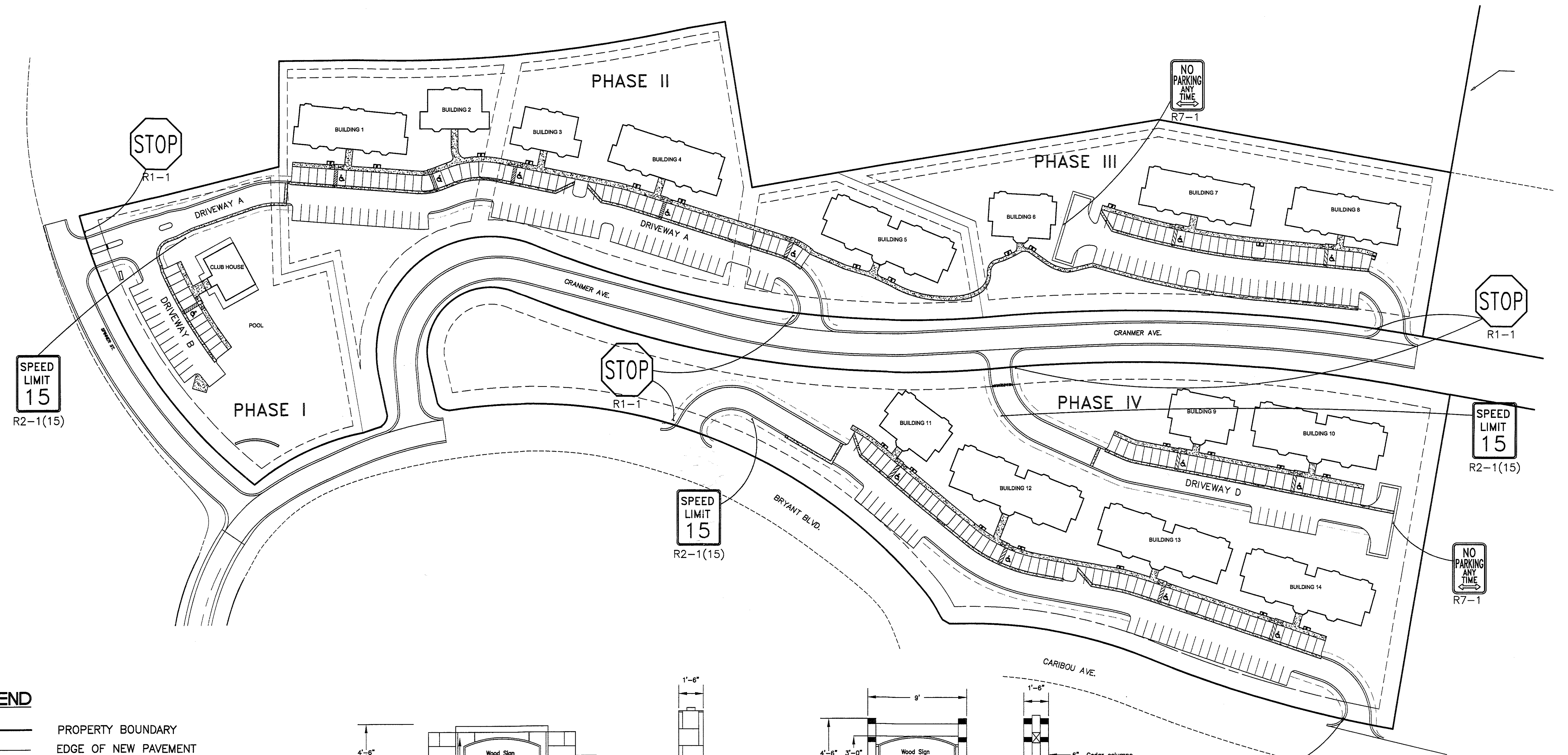
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DESIGN BY:	RAL/DCL
DRAWN BY:	DCL
CHECK'D BY (Design):	RAL
DATE:	8/9/2007
SCALE:	HORIZONTAL: 1"=30' VERTICAL:

DETAILED INTERSECTION PLAN FOR THE RIDGE at WINTER PARK CONDOMINIUM LOCATED IN GRAND COUNTY, COLORADO

SHEET NO.
20 OF 22

1" = 60'



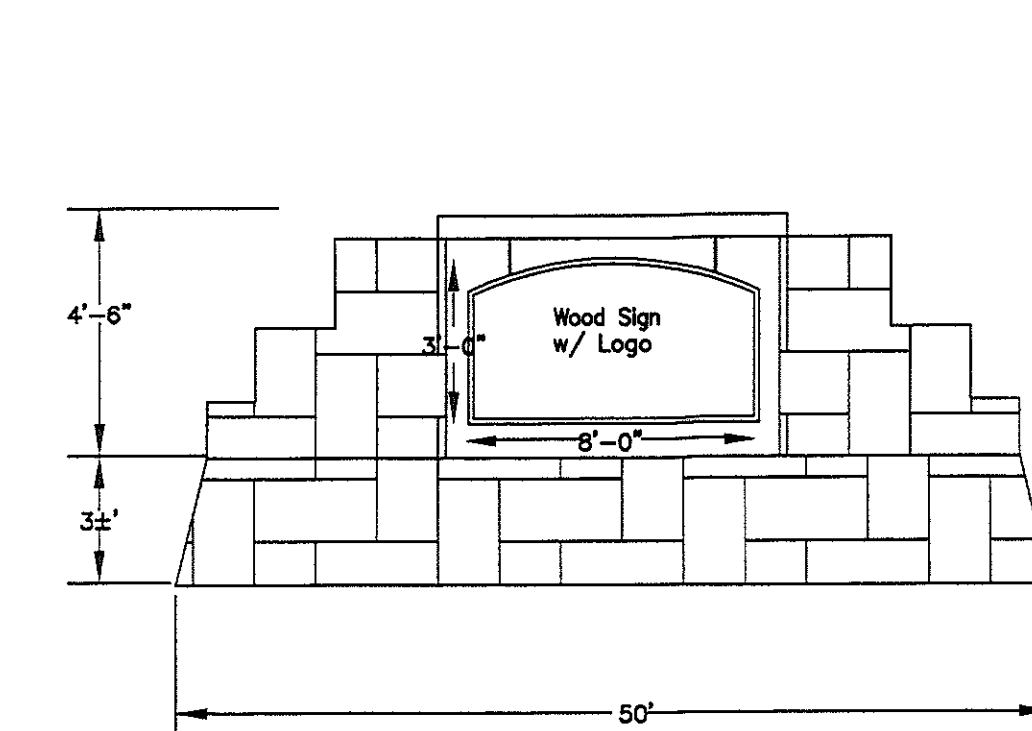
LEGEND

- PROPERTY BOUNDARY
- EDGE OF NEW PAVEMENT

SIGNING NOTES

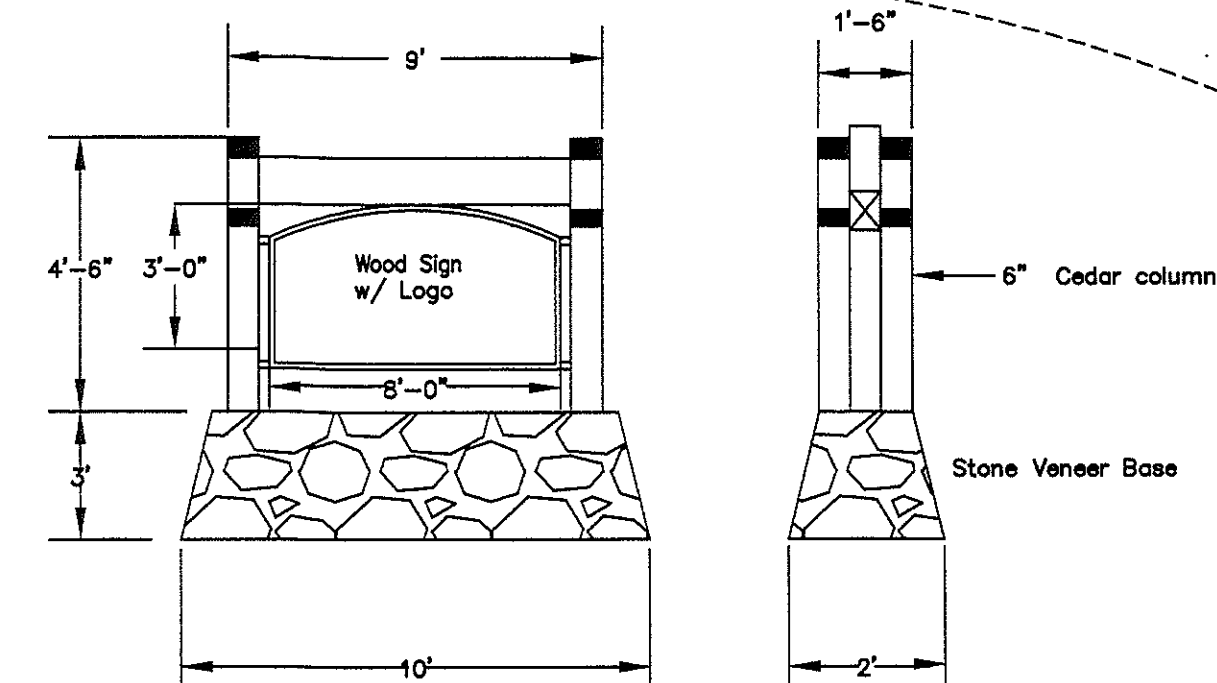
- STOP SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE FHWA'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2003 EDITION, CHAPTER 2B, REGULATORY SIGNS, SECTION 2B.04.
- STOP SIGN SHALL BE OCTAGONAL 24-INCH BY 24-INCH SIZE AND BE PLACED A MINIMUM OF FIVE FEET ABOVE GRADE TO BOTTOM OF THE SIGN.
- ALL OTHER SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH MUTCD STANDARDS

TYPE	DESIGNATION	TOTAL
STOP SIGN	R1-1	6
SPEED LIMIT	R2-1(15)	3
NO PARKING	R7-1	2



CONCEPT MONUMENT SIGN DETAIL

N.T.S.



CONCEPT MONUMENT SIGN AT CLUBHOUSE DETAIL

N.T.S.

- Notes:
- Final Monument Sign details shall be provided with the Club House building plans.
 - Maximum sign height shall be eight feet.
 - Final sign design and plans shall be in accordance with Grand County Zoning regulations.

CASCADE ENGINEERING & DRAINAGE, INC.

at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

NO.	DATE	APPR.

DESIGN BY:	RAL
DRAWN BY:	DSS/RAL
CHECKED BY (DATE):	RAL
DATE:	8/9/2007
SCALE:	HORIZONTAL: 1"=60'
	VERTICAL: N/A

SIGNAGE & STRIPING PLAN
FOR
THE RIDGE at WINTER PARK
CONDOMINIUM
LOCATED IN WINTER PARK, GRAND COUNTY, COLORADO

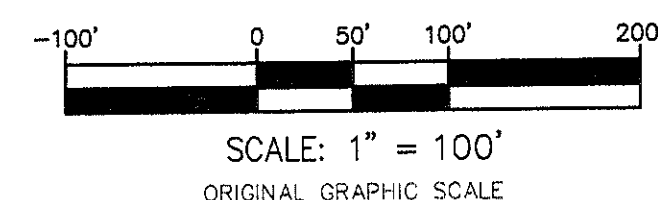
PHASE 1

NOTE:

1. Phase I shall include Driveway A and Building 1 within the Phase II area.
2. Offsite Cranmer improvements, roadway widening and shoulder improvements from Balsh to Spinner shall be part of Phase I.
3. Paving improvements to Cranmer and Spinner Street are included within Phase I.

NOTE:

1. Phase I shall include Driveway A and Building 1 within the Phase II area.
2. Offsite Cranmer improvements, roadway widening and shoulder improvements from Balsh to Spinner shall be part of Phase I.
3. Paving improvements to Cranmer and Spinner Street are included within Phase I.



PHASE 2

NOTE:
1. Phase II shall include all water main, electrical and gas utilities to be installed north of Cranmer Avenue. This is to assure utility availability to Building 5.

NOTE:
1. Phase II shall include all water main, electrical and gas utilities to be installed north of Cranmer Avenue. This is to assure utility availability to Building 5.

PHASE 3

NOTE:
1. Phase III shall include sewer main to serve proposed buildings.

NOTE:
1. Phase III shall include sewer main to serve proposed buildings.

PHASE 4

NOTE:
1. Phase IV shall include all utilities south of Cranmer Avenue.

NOTE:
1. Phase IV shall include all utilities south of Cranmer Avenue.



IF YOU DIG COLORADO -- CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL 2 BUSINESS DAYS PRIOR TO
EXCAVATION FOR UTILITY LOCATIONS

at WINTER PARK STATION
79050 HIGHWAY 40, SUITE 3
P.O. BOX 1406 FRASER, CO 80442
(970) 726-4105 office (970) 726-4743 fax

				DESIGN BY:	RAL/DCL
				DRAWN BY:	DCL
				CHECKED BY (Date/Sign):	RAL
				DATE:	8/9/2007
				SCALE:	HORIZONTAL: 1"=100' VERTICAL: N.A.
NO.	DATE			APPR.	

PHASE PLAN FOR THE RIDGE at WINTER PARK CONDOMINIUM

LOCATED IN WINTER PARK, GRAND COUNTY, COLORADO

SHEET NO. 22 OF 22
