

OWNER / DEVELOPER
SILVERLEAF RESORTS, INC.
1221 RIVER BEND DRIVE, No 120
DALLAS, TX 75247

ENGINEER
CASCADE ENGINEERING AND DRAINAGE, INC.
P.O. BOX 1406
FRASER, CO 80446

SURVEYOR
ROCKY MOUNTAIN SURVEYS, INC.
P.O. BOX 552
WINTER PARK, CO 80482

THE RIDGE AT WINTER PARK CONDOMINIUM
A RESUBDIVISION OF TRACTS D, E, F AND G,
THE SUMMIT AT WINTER PARK RANCH RECORDED AT RECEPTION No. 197823
LOCATED IN THE NW 1/4 OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH. P.M.,
COUNTY OF GRAND, STATE OF COLORADO
CONVEYANCE TO THE SUBDIVIDER RECORDED AT RECEPTION NO.2007012206

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: Silverleaf Resorts, Inc. is the owner of that Real Property situated in Grand County, Colorado, more fully described as follows:

TRACTS D, E, F AND G,
The Summit at Winter Park Ranch,
According to the plat thereof filed November 1, 1992 at Reception No. 197823,
County of Grand, State of Colorado

That it has caused said Real Property to be laid out and surveyed on The Ridge at Winter Park Condominium, and does hereby dedicate and set apart of the streets, alleys, trail easements and other public ways and places shown on the accompanying plat for the use of the public forever, and does hereby dedicate those portions of said Real Property which are indicated as easements on the accompanying plat as easements.

IN WITNESS WHEREOF, Silverleaf Resorts, Inc. caused their name to be hereunto subscribed this 10th day of November, 2007.

Silverleaf Resorts, Inc.

By: Sandra Seayley
Corporate Secretary

STATE OF

COUNTY OF

The foregoing instrument was acknowledged before me this 10th day of November, 2007, by Silverleaf Resorts, Inc. by Sandra Seayley, Corporate Secretary.

My Commission Expires:

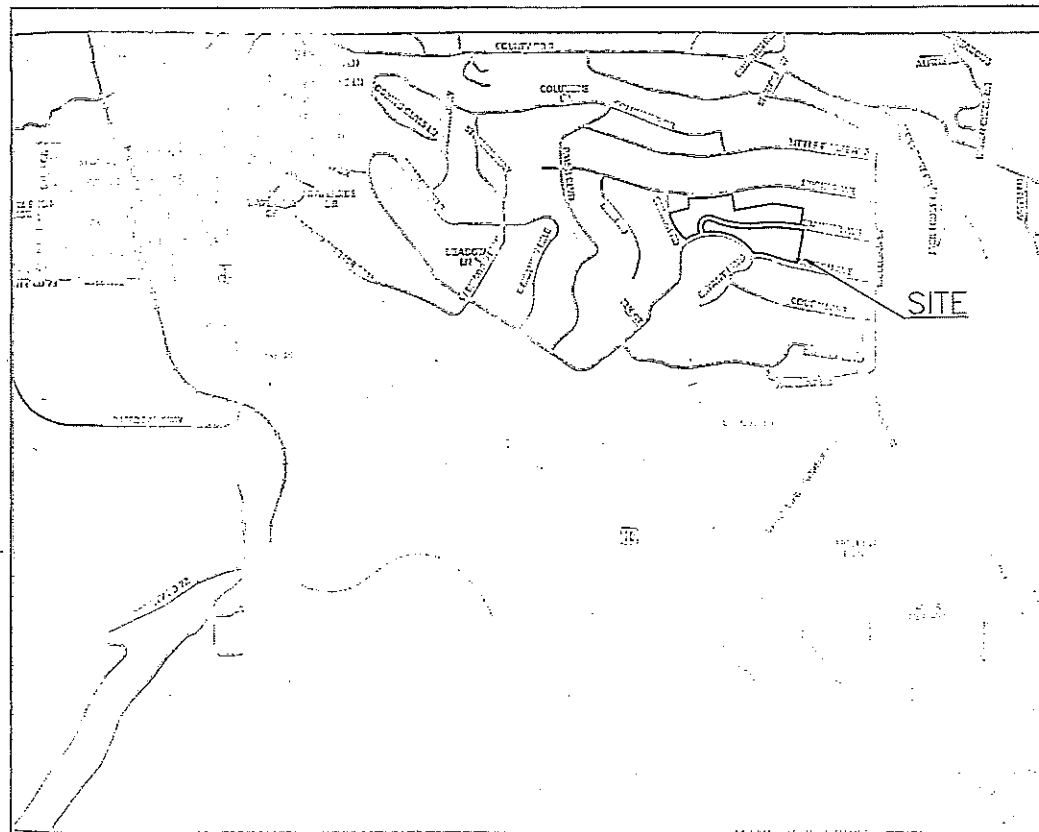
Anna Shifflett
Notary Public



NOTES:

- 1) MATERIALS AND COLORS USED IN THE ARCHITECTURE SHALL BE THOSE THAT ARE INDIGENOUS TO THE LOCAL AREA. COLOR SCHEMES FOR BOTH THE BUILDINGS AND ROOFS SHOULD BE COMPATIBLE AND FOUND IN THE NATURAL LANDSCAPE, SUCH AS EARTH TONED SOILS (BROWNS, GREENS, GREYS, ETC.), BEDROCK AND WOODLANDS VEGETATIVE GROWTH. THE DESIRED RESULT IS TO BLEND THE ARCHITECTURAL STRUCTURE WITH THE NATURAL SURROUNDINGS AND LESSEN VISUAL IMPACT.
- 2) EXTERIOR LIGHTING SHALL BE MINIMIZED. SHALL BE DIRECTED TO SUBTLY ILLUMINATE FUNCTIONAL AREAS ONLY. SHALL BE HOODED. SHALL NOT BE LOCATED ABOVE EAVE LINES; AND DESIGN AND SPECIFICATIONS OF LIGHTING SHALL BE SUBMITTED WITH BUILDING PERMIT APPLICATION AND SHALL BE SUBJECT TO GRAND COUNTY APPROVAL.
- 3) ALL WINDOWS SHALL BE LOW GLASSITY GLASS FOR THE PURPOSE OF REDUCING EXTERIOR GLARE. WINDOW SPECIFICATIONS SHALL BE SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT. SUBJECT TO THE APPROVAL OF GRAND COUNTY.
- 4) BUILDING FOOTPRINT SPECIFIC ARCHITECTURAL ELEVATIONS WILL BE REQUIRED TO BE SUBMITTED FOR EACH INDIVIDUAL CONDOMINIUM BUILDING. FINISHED GRADE IS REQUIRED TO BE SHOWN A DISTANCE OF 10 FEET AROUND EACH BUILDING. ROOF OVERHANG IS ALSO REQUIRED TO BE SHOWN AND MUST NOT ENCRUMB MORE THAN THREE (3) FEET INTO ANY SETBACK.
- 5) ALL UTILITIES AND THEIR EXTENSIONS SHALL BE PLACED UNDERGROUND TO PRESERVE THE NATURAL, RURAL CHARACTER OF GRAND COUNTY.
- 6) WILDFIRE MITIGATION IS REQUIRED IN CONJUNCTION WITH EACH STRUCTURE BUILT AND MUST BE IN PLACE PRIOR TO ISSUANCE OF ANY LETTER OF OCCUPANCY BY THE GRAND COUNTY BUILDING DEPARTMENT. COMPLIANCE WITH THE WILDFIRE HAZARD REVIEW AND MITIGATION PLAN, DATED, OCTOBER 2006, IS MANDATORY.
- 7) GRAND COUNTY HAS VARIOUS REGULATIONS REGARDING DISPOSAL OF SLASH. THE RIDGE CLUB SHALL BE REQUIRED TO CONSULT WITH THE GRAND COUNTY DEPARTMENT OF NATURAL RESOURCES PRIOR TO DISPOSAL OF SLASH AND SHALL BE REQUIRED TO COMPLY WITH APPLICABLE RULES AND REGULATIONS REGARDING DISPOSAL OF SLASH.
- 8) NO MORE THAN ONE (1) APPROVED SOLID FUEL BURNING DEVICE PER LOBBY OR OTHER MAIN AMENITY AREA. NO SOLID FUEL BURNING DEVICES WILL BE ALLOWED IN INDIVIDUAL RESIDENTIAL UNITS IN THE RIDGE AT WINTER PARK CONDOMINIUM PROJECT.
- 9) SETBACKS 30' FRONT, 20' REAR, AND 10' SIDE.
- 10) GARBAGE COLLECTION FACILITY WILL PROVIDE BEAR PROOF CONTAINERS.
- 11) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ROCKY MOUNTAIN SURVEYS, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, AND TITLE OF RECORD, ROCKY MOUNTAIN SURVEYS, INC. RELIED UPON TITLE COMPANY OF THE ROCKIES, INC. COMMITMENT No. 1107819-CR EFFECTIVE DATE: JANUARY 18, 2007, AT 7:00 a.m.
- 12) INITIAL GEOTECHNICAL SITE INVESTIGATION WAS PERFORMED BY KUJAR & ASSOCIATES (10/23/06). THE CONTRACTOR SHALL REVIEW THESE RECOMMENDATIONS, ALONG WITH A SITE SPECIFIC GEOTECHNICAL INVESTIGATION PRIOR TO INITIATION OF THE BUILDING PERMIT PROCESS. EACH BUILDING WILL REQUIRE A SITE SPECIFIC GEOTECHNICAL REPORT, INCLUDING SITE SPECIFIC SOIL BORINGS, AND DESIGN RECOMMENDATIONS FOR A FOUNDATION, AND RADON SYSTEM TO BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
- 13) SILVERLEAF RESORTS INC. HAS CONVEYED CERTAIN PERPETUAL EASEMENTS FOR USE BY THE PUBLIC, INCLUDING OWNERS OF UNITS AND THESHAIR INTERESTS AT THE RIDGE AT WINTER PARK CONDOMINIUM PROJECT DEPICTED HEREON, FOR ALL TRAILS A, B, C, D AND E NOTED ON THE FINAL PLAT THROUGH SEPARATE EASEMENT AGREEMENT RECORDED UNDER SEPARATE RECEPTION NUMBER.
- 14) SILVERLEAF RESORTS INC. AS THE DEVELOPER, HEREBY REPRESENTS AND WARRANTS THAT IT SHALL ENTER INTO A SUBDIVISION IMPROVEMENTS AGREEMENT WITH GRAND COUNTY FOR THE COMPLETION OF ALL PUBLIC IMPROVEMENTS TO BE CONSTRUCTED DURING EACH PHASE OF THE RIDGE AT WINTER PARK CONDOMINIUM PROJECT HEREON, AND SHALL RETAIN PRINCIPAL RESPONSIBILITY FOR THE MAINTENANCE AND PUBLIC APPEARANCE OF THE PROJECT AT ALL TIMES. REGARDLESS OF ANY SUBSEQUENT AGREEMENT ASSIGNING OR CONTRACTING OF MAINTENANCE OR CONSTRUCTION DUTIES AS MAY APPEAR IN REGULATIONS, COVENANTS, OR OTHER PROJECT INSTRUMENTS, NOW EXISTING OR SUBSEQUENTLY CREATED, THE SUBDIVISION IMPROVEMENTS AGREEMENT FOR PHASE I, AS NOTED ON THE FINAL PLAT, SHALL NOT BE RELEASED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED FOR PHASE I AND ALL PUBLIC IMPROVEMENTS HAVE BEEN INSTALLED AND CONSTRUCTED THEREIN IN ACCORDANCE WITH GRAND COUNTY'S LAND-USE AND BUILDING CODES.
- 15) SILVERLEAF RESORTS INC., AS THE DEVELOPER, HEREBY REPRESENTS AND WARRANTS THAT THE AMENITIES, RECREATIONAL EASEMENTS, AND SERVICE FACILITIES (INCLUDING BUT NOT LIMITED TO CLUBHOUSE, SWIMMING POOL, TRAILS, PARKING, ROADS, STREETS, DRIVES, AND UTILITIES) SHOWN ON THE FINAL PLAT WILL AT ALL TIMES BE AVAILABLE TO THE MEMBERS OF THE RIDGE CLUB, AND NO SALE, MORTGAGE OR TRANSFER THEREOF MAY BE MADE UNLESS SUCH SALE, MORTGAGE OR TRANSFER IS MADE SUBORDINATE TO THE RIGHTS OF THE MEMBERS OF THE RIDGE CLUB.
- 16) THIS PLAT IS RESTRICTED FROM ANY CHANGES TO THE INTERIOR FLOOR PLANS, BUILDING FOOTPRINT, AMENITIES, RECREATIONAL EASEMENTS, TRAILS, AND SERVICE FACILITIES (INCLUDING, BUT NOT LIMITED TO THE CLUBHOUSE, PARKING, SWIMMING POOL, ETC.) THAT COULD INCREASE THE UNIT DENSITY AND/OR DECREASE OPEN SPACE CALCULATIONS AS SHOWN ON THE FINAL PLAT, OR ANY CHANGES THAT MAY AFFECT IN ANY MANNER THE PLAT'S COMPLIANCE WITH THE GRAND COUNTY LAND-USE REGULATIONS, WITHOUT THE APPROVAL OF THE BOARD OF COUNTY COMMISSIONERS FOR GRAND COUNTY, COLORADO.
- 17) ALL BUILDINGS AND SITE FEATURES ARE SHOWN IN THEIR PROPOSED LOCATION. A PHASED AS-BUILT CONDOMINIUM PLAT WILL BE PROVIDED TO GRAND COUNTY PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- 18) ALL LANDS NOT WITHIN THE BUILDING FOOTPRINT OR PARKING STALLS ARE COMMON ELEMENTS; INCLUDING BUT NOT LIMITED TO TRAIL ENCLOSURE AREAS, POOL DECK AREAS AND OPEN SPACE AREAS.
- 19) LANDSCAPING WITHIN THIS DEVELOPMENT SHALL FOLLOW COLORADO STATE UNIVERSITY "FIREWISE" PLANS AND RECOMMENDATIONS FOR DEFENSIBLE SPACE AROUND BUILDINGS.
- 20) THE EAST GRAND FIRE DEPARTMENT SHALL BE NOTIFIED THAT THE WATER MAIN SYSTEM AND NEW FIRE HYDRANTS (S) HAVE BEEN INSTALLED WITHIN EACH PHASE OF THIS DEVELOPMENT PRIOR TO THE FIRST BUILDING PERMIT BEING ISSUED WITHIN ANY PHASE.
- 21) THE CIVIL DESIGN ENGINEER AND GEOTECHNICAL ENGINEER SHALL PROVIDE WRITTEN VERIFICATION THAT THE PROJECT WAS BUILT AND COMPLETED ACCORDING TO THE DESIGN DOCUMENTATION.
- 22) NOXIOUS WEEDS SHALL BE CONTROLLED IN COMPLIANCE WITH THE GRAND COUNTY NOXIOUS WEED MANAGEMENT PLAN ON FILE WITH THE GRAND COUNTY DEPARTMENT OF NATURAL RESOURCES IN PERPETUITY.
- 23) DESIGN PLANS FOR THE SWIMMING POOL SHALL BE SUBMITTED WITH THE CLUB HOUSE BUILDING PLANS. APPROVAL BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH SHALL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL FOR THE CLUB HOUSE.
- 24) PARKING REQUIREMENTS HAVE BEEN REDUCED BY THE BOARD OF COUNTY COMMISSIONERS ON THIS PLAT TO PROVIDE OPEN SPACE AND REDUCE IMPACTS TO NEIGHBORING PROPERTIES. THE AREA SHOWN AS RESERVED PARKING IS RESTRICTED TO SUCH USE AND ADDITIONAL PARKING MAY ONLY BE BUILT IF DEEMED NECESSARY AND APPROVED BY AMENDING THE FINAL PLAT IN COMPLIANCE WITH ALL GRAND COUNTY REGULATIONS.
- 25) THIS CONDOMINIUM PROJECT IS REQUIRED TO COMPLY WITH C.R.S. TITLE 9, ARTICLE 5, STANDARDS FOR ACCESSIBLE ROUTING.

NOTICE: According to Colorado law, you MUST commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any legal action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



VICINITY MAP NOT TO SCALE

OVERALL SITE DATA TABLE FOR THE RIDGE AT WINTER PARK CONDOMINIUM							
PHASE	BUILDINGS	UNIT COUNT	TOTAL AREA (SQ. FEET)	OPEN SPACE REQUIRED (SQ. FEET)	OPEN SPACE PROVIDED (SQ. FEET)	PARKING REQUIRED	PARKING PROVIDED
I	CLUB HOUSE & POOL	N/A	73335 SF (100 X)	112954 SF (60 X)	48517 SF (65.3 X)	8	23
II	BUILDINGS 1-5	48	188274 SF (100 X)	44121 SF (60 X)	124743 SF (66.3 X)	58	68
III	BUILDINGS 10-15	72	283201 SF (100 X)	189920 SF (60 X)	177255 SF (62.6 X)	87	87
IV	BUILDINGS 6-9	16	122245 SF (100 X)	73359 SF (60 X)	82730 SF (67.7 X)	20	30
TOTAL		136	667275 SF (100 X)	400345 SF (60 X)	439475 SF (65.8 X)	173	205

SEE TABLES BELOW FOR OPEN SPACE CALCULATIONS WITH FUTURE PARKING. (PHASES I AND II ONLY)

PHASE I - LAND USE TABULATION			
1. CLUB HOUSE & POOL			
73,335 SF. FT. TOTAL			
DESCRIPTION-PHASE I	AREA IN SQUARE FEET	PERCENT	
BUILDINGS & POOL	5,150	7.00%	
DRIVEWAYS & PARKING	17,145	23.32%	
STREETWALK	1,183	1.61%	
RETAINING WALLS	1,183	1.61%	
AIR HANDLERS	6	0.01%	
LANDSCAPE	285	0.39%	
OPEN SPACE	48,517	65.98%	
TOTAL	73,335	100.00%	
SNOW STORAGE REQUIRED:	5,144 SQ.FT.		
SNOW STORAGE PROVIDED:	5,554 SQ.FT.		

PHASE II - LAND USE TABULATION			
BUILDINGS 10-15			
283,201 SF. FT. TOTAL			
DESCRIPTION-PHASE II	AREA IN SQUARE FEET	PERCENT	
BUILDINGS	37,248	13.15%	
DRIVEWAYS & PARKING	52,665	18.60%	
STREETWALK	1,611	0.57%	
RETAINING WALLS	2,469	0.87%	
AIR HANDLERS	288	0.10%	
LANDSCAPE	1,611	0.57%	
OPEN SPACE	177,255	62.63%	
TOTAL	283,201	100.00%	
SNOW STORAGE REQUIRED:	18,679 SQ.FT.		
SNOW STORAGE PROVIDED:	19,858 SQ.FT.		
FUTURE PARKING (1,800 S.F.):			
DRIVEWAYS & PARKING	61,485	21.71%	
OPENSPACE	175,255	61.85%	

PHASE III - LAND USE TABULATION			
BUILDINGS 1-5			
188,274 SF. FT. TOTAL			
DESCRIPTION-PHASE III	AREA IN SQUARE FEET	PERCENT	
BUILDINGS	25,460	13.52%	
DRIVEWAYS & PARKING	30,546	16.22%	
STREETWALK	1,511	0.80%	
RETAINING WALLS	1,511	0.80%	
AIR HANDLERS	192	0.10%	
LANDSCAPE	1,511	0.80%	
OPEN SPACE	124,743	66.26%	
TOTAL	188,274	100.00%	
SNOW STORAGE REQUIRED:	10,817 SQ.FT.		
SNOW STORAGE PROVIDED:	10,818 SQ.FT.		
FUTURE PARKING (1,400 S.F.):			
DRIVEWAYS & PARKING	31,852	16.97%	
OPENSPACE	123,337	65.51%	

PHASE IV - LAND USE TABULATION			
BUILDINGS 6-9			
122,245 SF. FT. TOTAL			
DESCRIPTION-PHASE IV	AREA IN SQUARE FEET	PERCENT	
BUILDINGS	13,874	11.38%	
DRIVEWAYS & PARKING	21,068	17.23%	
STREETWALK	3,155	2.58%	
RETAINING WALLS	1,450	1.19%	
AIR HANDLERS	61	0.05%	
LANDSCAPE	1,450	1.19%	
OPEN SPACE	81,243	66.37%	
TOTAL	122,245	100.00%	
SNOW STORAGE REQUIRED:	7,275 SQ.FT.		
SNOW STORAGE PROVIDED:	7,623 SQ.FT.		

SURVEYOR'S CERTIFICATE

I, John E. Dwyer, a duly Licensed Land Surveyor in the State of Colorado, do hereby certify that this plat of The Ridge at Winter Park Condominium, truly and correctly represents the results of a survey made by me or under my direction, and that said plat complies with the requirements of Title 38, Article 31, Colorado Revised Statutes, 1973, and that the monuments required by said Statute and by the Grand County Subdivision Regulations have been placed on the ground.

John E. Dwyer 12/3/07
John E. Dwyer, Colorado P.E. 16446



COMMISSIONERS CERTIFICATE

Approved this 28th day of February, 2008, by the Grand County Commissioners of Grand County, Colorado. Acceptance of this subdivision by the County of Grand does not constitute an acceptance of the roads and rights-of-way reflected hereon for maintenance by said county. Until such roads and rights-of-way meet County specifications and are specifically accepted for maintenance by resolution of the Board of County Commissioners of Grand County, the maintenance, construction, and all other matters pertaining to or affecting said roads and rights-of-way are the sole responsibility of the owners of the land embraced within the subdivision. This approval does not guarantee that the size or soil conditions of any lot shown hereon are such that a building permit may be issued.

John E. Dwyer
Chairman
Board of Commissioners
Grand County, Colorado

Planning Commission Certificate

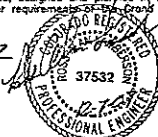
Approved this 28th day of February, 2008, by the Grand County Planning Commission, Grand County, Colorado.

John E. Dwyer
Chairman

PLANNER'S CERTIFICATE

We, Cascade Engineering and Drainage, Inc., being a qualified professional engineer, or engineering, designing or planning firm, certify that this plat of The Ridge at Winter Park Condominium has been engineered, designed and planned in accordance with all applicable design standards and other requirements of the Grand County Subdivision Regulations.

John E. Dwyer 12-2-07
John E. Dwyer, P.E. No. 37532
For and on Behalf of Cascade Engineering and Drainage, Inc.



LIEN HOLDER

IN WITNESS WHEREOF, Tecton Financial Corporation has caused their name to be hereunto subscribed this 19th day of November, 2007.

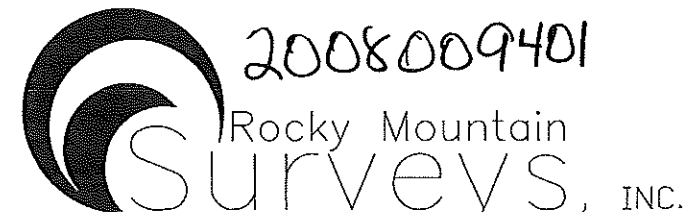
By: John E. Dwyer
Tecton Financial Corporation

STATE OF Colorado
COUNTY OF Hartford SS

The foregoing instrument was acknowledged before me this 19th day of November, 2007, for Tecton Financial Corporation.

My Commission Expires: 12-31-2011

John E. Dwyer
Notary Public



PO Box 552, Winter Park, CO 80482 Phone: 970.726.7166

THE RIDGE AT WINTER PARK CONDOMINIUM A RESUBDIVISION OF TRACTS D, E, F AND G, THE SUMMIT AT WINTER PARK RANCH RECORDED AT RECEPTION No. 197823 LOCATED IN THE NW 1/4 OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE 75 WEST OF THE 6TH. P.M. COUNTY OF GRAND, STATE OF COLORADO CONVEYANCE TO THE SUBDIVIDER RECORDED AT RECEPTION NO.2007012206		STATE OF COLORADO } SS County of GRAND } Read by Grand Jury } any as September 2008 } as 11/11/08 as 11/11/08 } as 11/11/08 as 11/11/08 } as 11/11/08 as 11/11/08 } as 11/11/08 as 11/11/08 } as 11/11/08 as 11/11/08 }
SCALE: 1"=60'	DRAWN BY: P.N.	
	APPROVED BY:	
JOB # RIDGE-	DATE: OCTOBER 9, 2006	
SHEET 1 OF 2	REV: NOVEMBER 1, 2007	

